

# Mixed-Use Rental Residential Development

# RE-ISSUED FOR RE-ZONING / DP

## PROJECT RENDER



## PROJECT INFORMATION

**LEGAL ADDRESS**  
LAP39987 LOT 1, DISTRICT LOT 134  
ODYD, PLAN 39987

**CIVIC ADDRESS**  
3805 LAKESHORE ROAD,  
KELOWNA, B.C.

**ZONING**  
EXISTING: P4; RR2  
PROPOSED: VC-1

**OCCUPANCY**  
EXISTING: RADIO STATION  
PROPOSED: C MULTI-UNIT RESIDENTIAL  
E RETAIL COMMERCIAL

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A504	UNIT LAYOUTS D	2024-03-18
A505	UNIT LAYOUTS E	2024-03-18

## PROJECT CONTACTS

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**ELECTRICAL ENGINEER**  
NEMETZ (S/A) & ASSOCIATES LTD.  
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**ENVIRONMENTAL CONSULTANT**  
ECOSCAPE ENVIRONMENTAL  
CONSULTANTS LTD.  
102-450 NEAVE CRT.,  
KELOWNA, BC, V1V 2M2  
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Project Number: 2210

DRAWING ISSUED

01	ISSUED FOR RE-ZONING DP	2023-05-05
02	ISSUED FOR ENVIRONMENTAL DP	2023-11-24
03	RE-ISSUED FOR RE-ZONING DP	2024-03-18

SEAL



PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
COVER PAGE

LOCATION  
VANCOUVER, BC

DRAWN BY  
WE

DATE  
2024-03-18

SCALE

DWG No.

A000

# STATISTICS

SITE AND PROGRAMMING SUMMARY						
ZONING INFORMATION		FAR	FAR W/ BONUS	MAX HEIGHT		
Current Zone	P4; RR2					
OCP Zone	VC-1 (Cookwell-Trusell)	1.5	1.75 **	6 STORIES (22 m)		
** Public Amenity + Streetscape Bonus: 0.25 FAR (Bylaw Section 6.8.2.)						
SITE AREA		98,834 SF			9,182.0 m <sup>2</sup>	
Wetland Area		42,087 SF			3,910.0 m <sup>2</sup>	
SPEA Area		17,093 SF			1,588.0 m <sup>2</sup>	
Net Site Area		39,654 SF			3,684.0 m <sup>2</sup>	
AREA (GROSS)	CIRCULATION	EXCLUSIONS	AREA (LEASABLE)	AREA (NET)	COMMENTS	
GROUND FLOOR	26,426 SF	2,134 SF	21,724 SF	2,568 SF	PARKADE EXCLUDED FROM NET	
SECOND FLOOR	32,255 SF	1,878 SF	23,263 SF	7,114 SF	PARKADE EXCLUDED FROM NET	
THIRD FLOOR	17,134 SF	1,801 SF	2,414 SF	12,919 SF	INDOOR AMENITY EXCL.	
FOURTH FLOOR	17,131 SF	1,558 SF	831 SF	14,742 SF		
FIFTH FLOOR	17,131 SF	1,558 SF	831 SF	14,742 SF		
SIXTH FLOOR	16,338 SF	1,558 SF	831 SF	13,949 SF		
ROOF	0 SF	0 SF	0 SF	0 SF		
<b>RESIDENTIAL SUB-TOTAL</b>	<b>126,415 SF</b>	<b>10,487 SF</b>	<b>49,894 SF</b>	<b>66,034 SF</b>	<b>0.67</b>	
	11,744.3 m <sup>2</sup>	974.3 m <sup>2</sup>	4,635.3 m <sup>2</sup>	6,134.8 m <sup>2</sup>		
COMMERCIAL						
GROUND FLOOR	4,896 SF	1,625 SF	0 SF	3,271 SF	3,271 SF	
<b>COMMERCIAL SUB-TOTAL</b>	<b>4,896 SF</b>	<b>1,625 SF</b>	<b>0 SF</b>	<b>3,271 SF</b>	<b>0.03</b>	
	454.9 m <sup>2</sup>	151.0 m <sup>2</sup>	0.0 m <sup>2</sup>	303.9 m <sup>2</sup>	303.9 m <sup>2</sup>	
<b>TOTAL (GBA)</b>	<b>131,311 SF</b>	<b>12,112 SF</b>	<b>49,894 SF</b>	<b>69,305 SF</b>	<b>0.70 FAR</b>	
	(12,199.2 m <sup>2</sup> )	(1,125.2 m <sup>2</sup> )	(4,635.3 m <sup>2</sup> )	(6,438.7 m <sup>2</sup> )	<b>1.75 FAR (NET SITE)</b>	
<b>TOTAL SITE COVERAGE</b>	<b>Building:</b>	<b>32% Site:</b>	<b>33%</b>			

PARKING						
	BY-LAW REF.	BYLAW (MIN)	REQ. (MIN)	REDUCTIONS	REVISED REQ'S	PROVIDED
<b>RESIDENTIAL ( @ 104 UNITS )</b>						
	8.3.1.(VC-1)	0.9 / Bachelor	0.9		0.9	81
		1.0 / 1-BED	68		68.0	
		1.1 / 2-BED	33.0		33.0	
		1.4 / 3-BED	7.0		7.0	
ACCESSIBLE STALLS	8.2.17.	101-150 STALLS	4		4.0	3
ACCESSIBLE VAN STALLS	8.2.17.	101-150 STALLS	(1 counted in AC)			1
VISITORS	8.3.1.(VC-1)	0.14 / UNIT	14.6		14.6	14
CAR SHARE STALLS	8.2.11. (b)			22**	-22.0	5
BICYCLE PARKING INCENTIVES	8.5.8	20% MAX (5 stalls)		23*	-5.0	
<b>SUB-TOTAL</b>			<b>127.5</b>		<b>100.5</b>	<b>104</b>
<b>COMMERCIAL ( @ 4,896 SF )</b>						
	8.3.2.(VC-1)	1.3 / 100m2 GFA	5.9		5.9	6
<b>SUB-TOTAL</b>			<b>5.9</b>	<b>0.0</b>	<b>5.91</b>	<b>6.0</b>
<b>TOTAL</b>			<b>133</b>		<b>106.37</b>	<b>110</b>

BICYCLE PARKING				
LONG TERM				
	BY-LAW REF.	REQUIRED	PROVIDED	
<b>RESIDENTIAL</b>				
BACH ( @ 1 UNITS )	TABLE 8.5	1	PROVIDED WITHIN ONE STOREY OF FIN. GRADE	143
1BED ( @ 68 UNITS )	TABLE 8.5	85		
2BED ( @ 30 UNITS )	TABLE 8.5	45		
3BED ( @ 5 UNITS )	TABLE 8.5	10	L3-L6	
<b>SUB-TOTAL</b>		<b>141</b>		<b>143</b>
<b>COMMERCIAL</b>				
4,896 SF	TABLE 8.5	2		2
<b>SUB-TOTAL</b>		<b>2</b>		<b>2</b>
SHORT TERM				
	BY-LAW REF.	REQUIRED	PROVIDED	
<b>RESIDENTIAL</b>				
6 PER ENTRANCE	TABLE 8.5	6		6
<b>COMMERCIAL</b>				
2 PER ENTRANCE	TABLE 8.5	8		8
<b>SUB-TOTAL</b>		<b>14</b>		<b>14</b>
<b>TOTAL</b>		<b>157</b>		<b>159</b>

UNIT COUNT					
	STUDIO	1-BED	2-BED	3-BED	TOTAL
GROUND FLOOR	0	5	0	0	5
SECOND FLOOR	0	7	3	1	11
THIRD FLOOR	1	11	7	1	20
FOURTH FLOOR	0	15	7	1	23
FIFTH FLOOR	0	15	7	1	23
SIXTH FLOOR	0	15	6	1	22
	1	68	30	5	104
	1%	65%	29%	5%	

AMENITY REQUIREMENTS			
COMMON AMENITY			
REQUIRED	PROVIDED		
	INDOOR	1,583 SF	
	OUTDOOR	11,339 SF	
43 SF / UNIT = 4,472 SF	<b>TOTAL COMMON</b>	<b>12,922 SF</b>	
TOTAL AMENITY			
REQUIRED	PROVIDED		
81 SF / BACH =	81 SF		
161 SF / 1 BED =	10,979 SF	COMMON	12,922 SF
269 SF / 2-3 BED =	9,418 SF	PRIVATE	11,141 SF
	<b>20,478 SF</b>	<b>TOTAL</b>	<b>24,063 SF</b>

# CONTEXT PLAN



# SITE PHOTOS



1. LOOKING SOUTHEAST FROM LAKESHORE RD / COOK ST.



2. LOOKING NORTH-EAST FROM LAKESHORE RD



3. LOOKING EAST FROM LAKESHORE RD OF WETLAND



4. LOOKING SOUTHWEST ALONG COOK RD

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NORTH

SEAL

PROJECT

MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING

CONTEXT MAP / PROJECT STATISTICS

LOCATION

VANCOUVER, BC

DRAWN BY

IK

DATE

2024-03-18

SCALE

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VIEW FROM CORNER AT LAKESHORE ROAD & COOK ROAD LOOKING SOUTH-EAST

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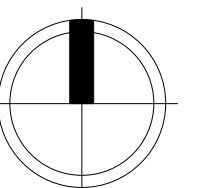
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SEAL



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MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
PERSPECTIVES

LOCATION  
VANCOUVER, BC

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A002



VIEW FROM LAKESHORE ROAD FACING EAST ALONG COOK ROAD



VIEW FROM COOK ROAD LOOKING SOUTH



VIEW FROM COOK ROAD LOOKING SOUTH WEST



VIEW FROM LAKESHORE ROAD LOOKING NORTH EAST

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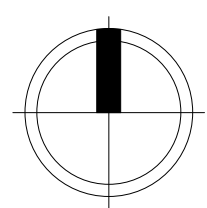
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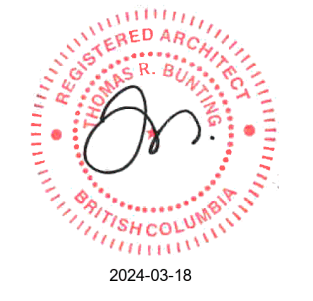
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NORTH



SEAL



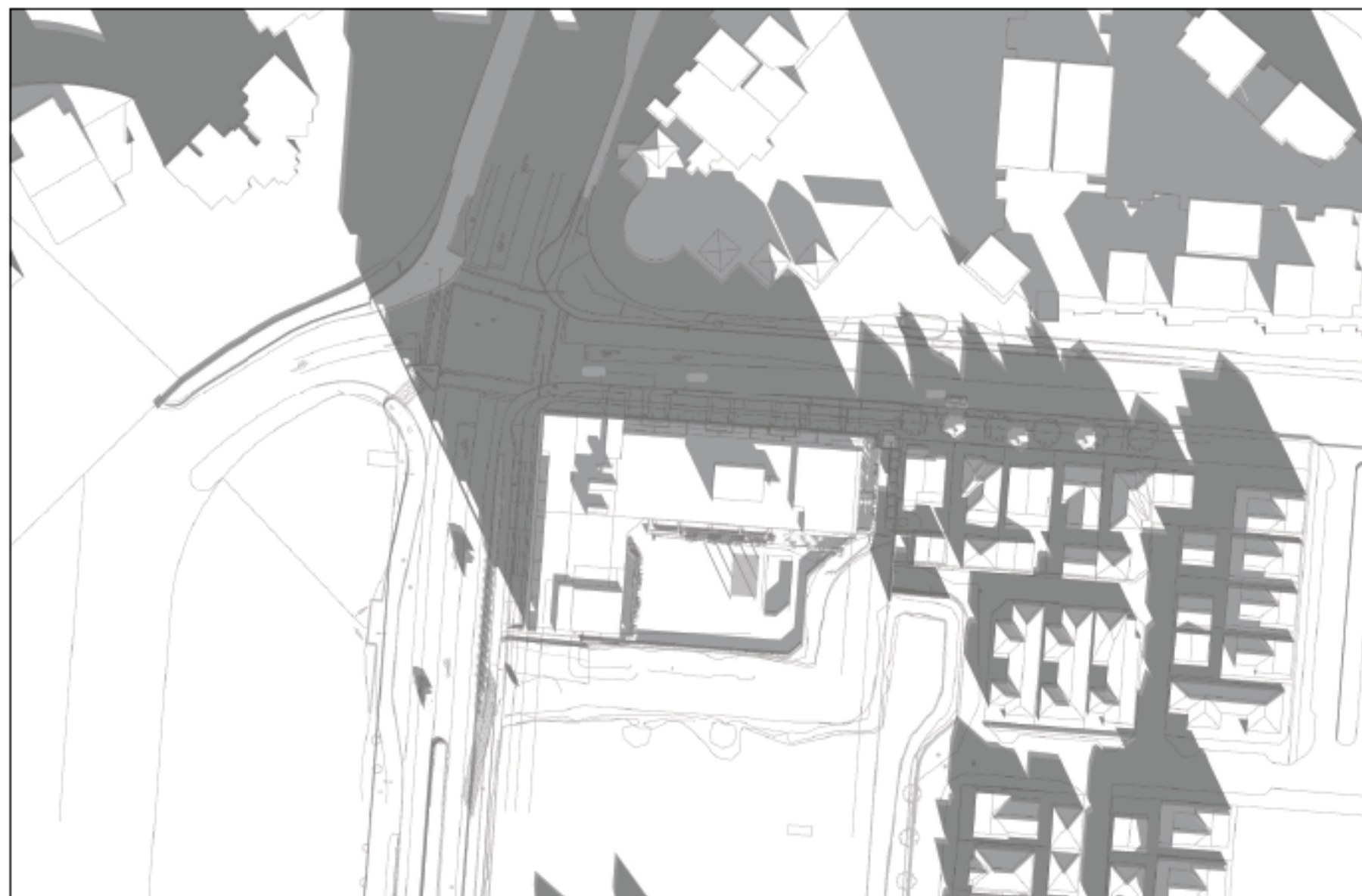
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DRAWING  
PERSPECTIVES

LOCATION VANCOUVER, BC DRAWN BY IK

DATE 2024-03-18 SCALE

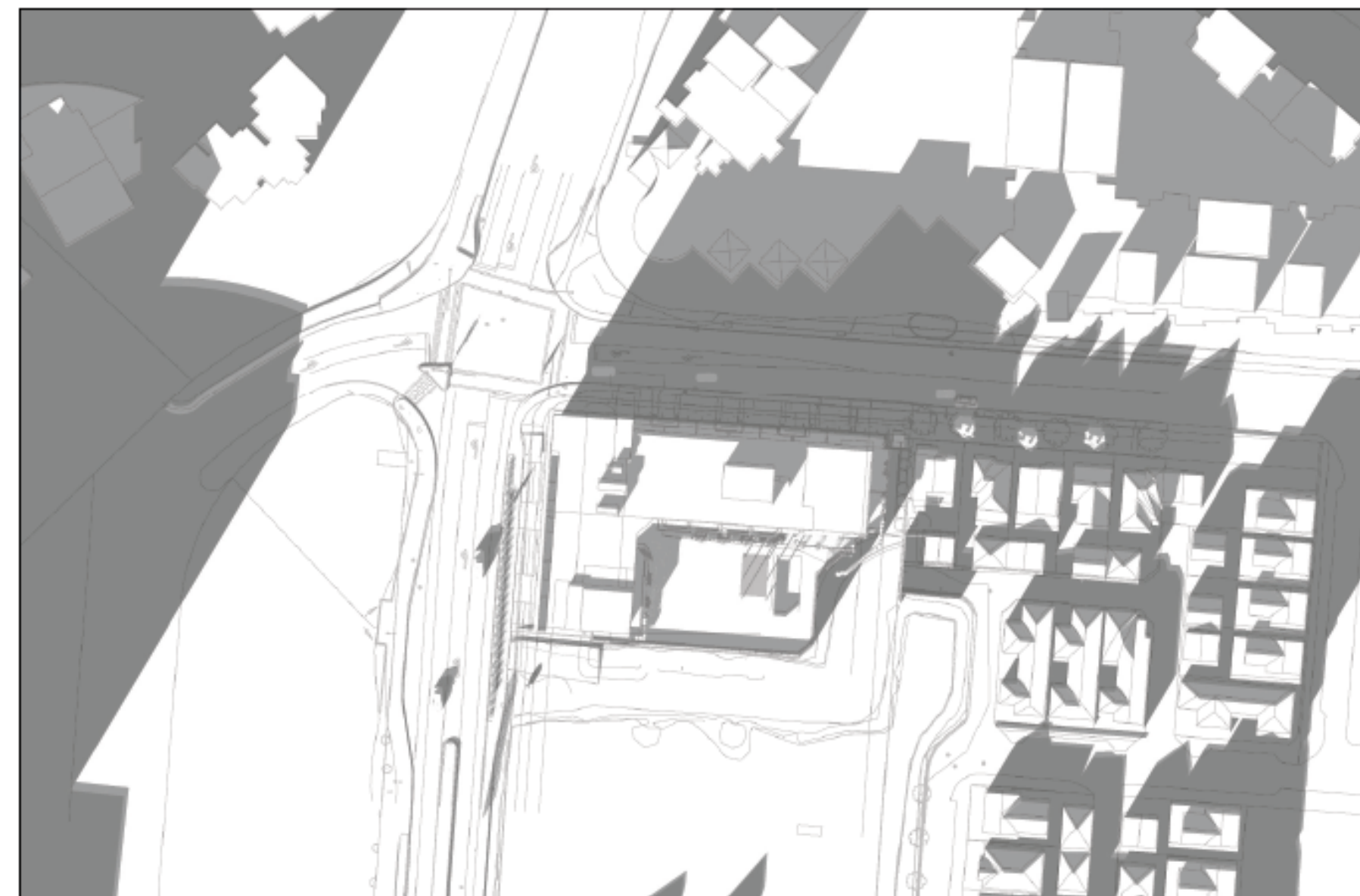
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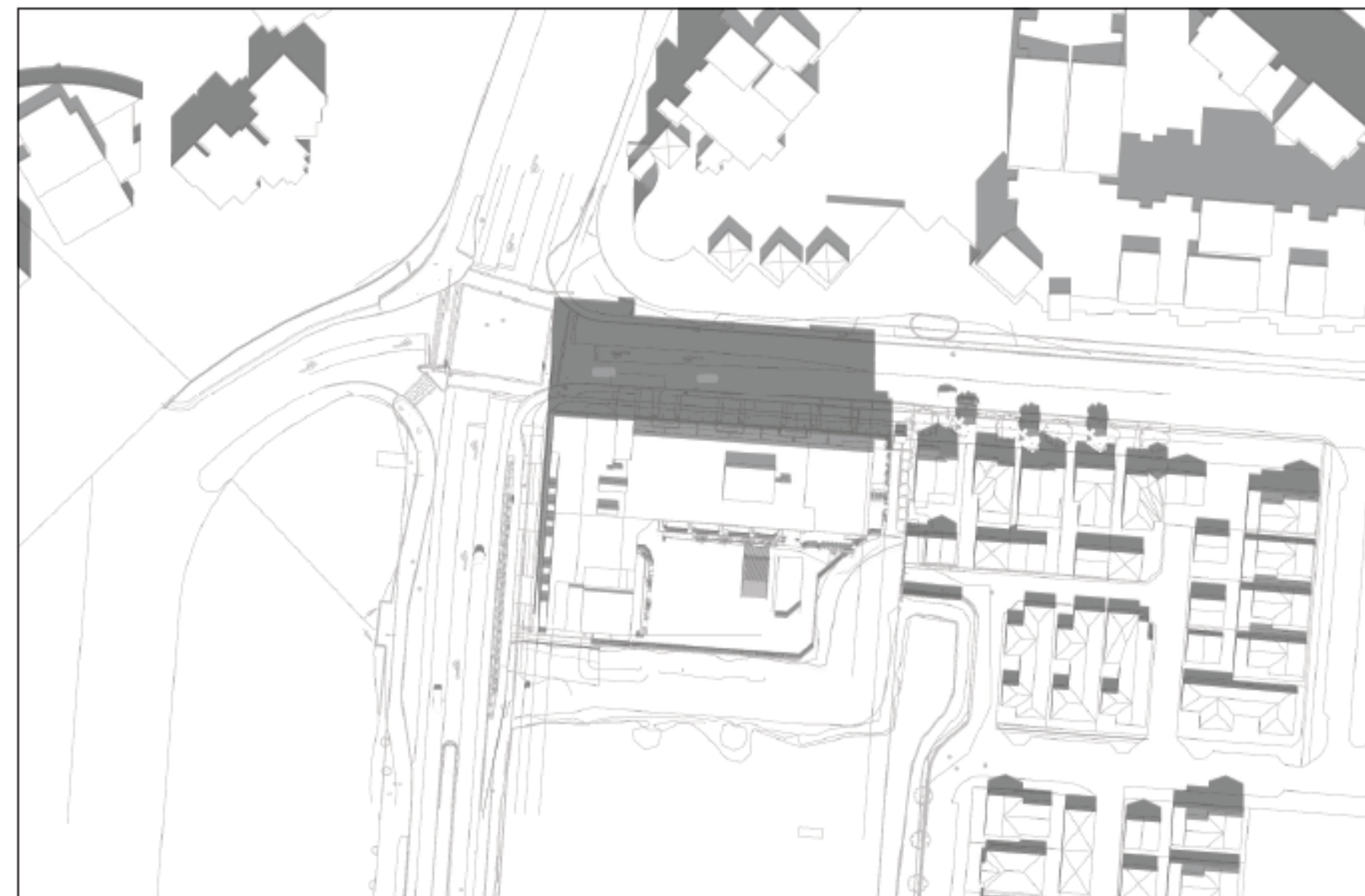
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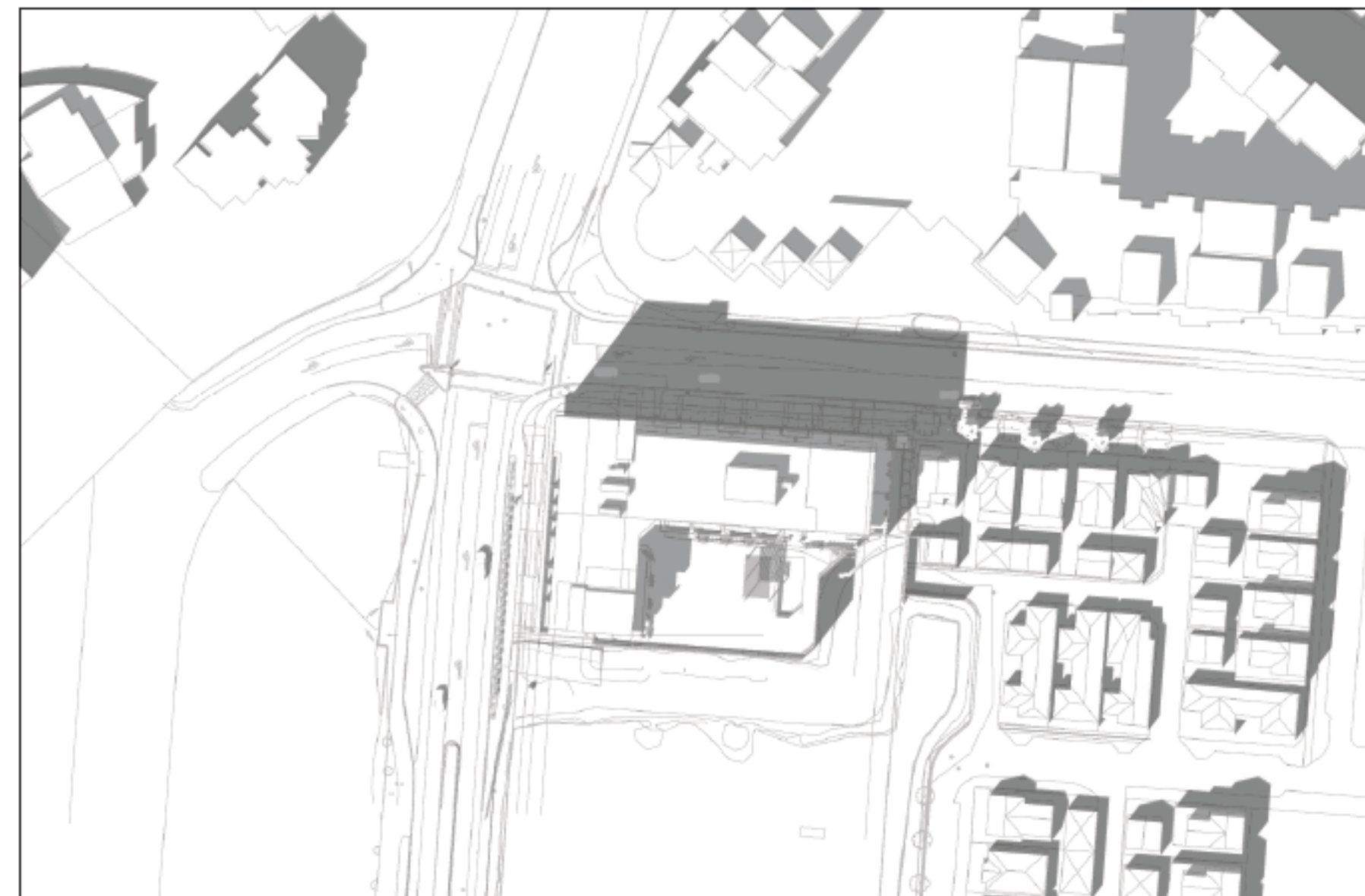
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MAR 21 10:00 AM



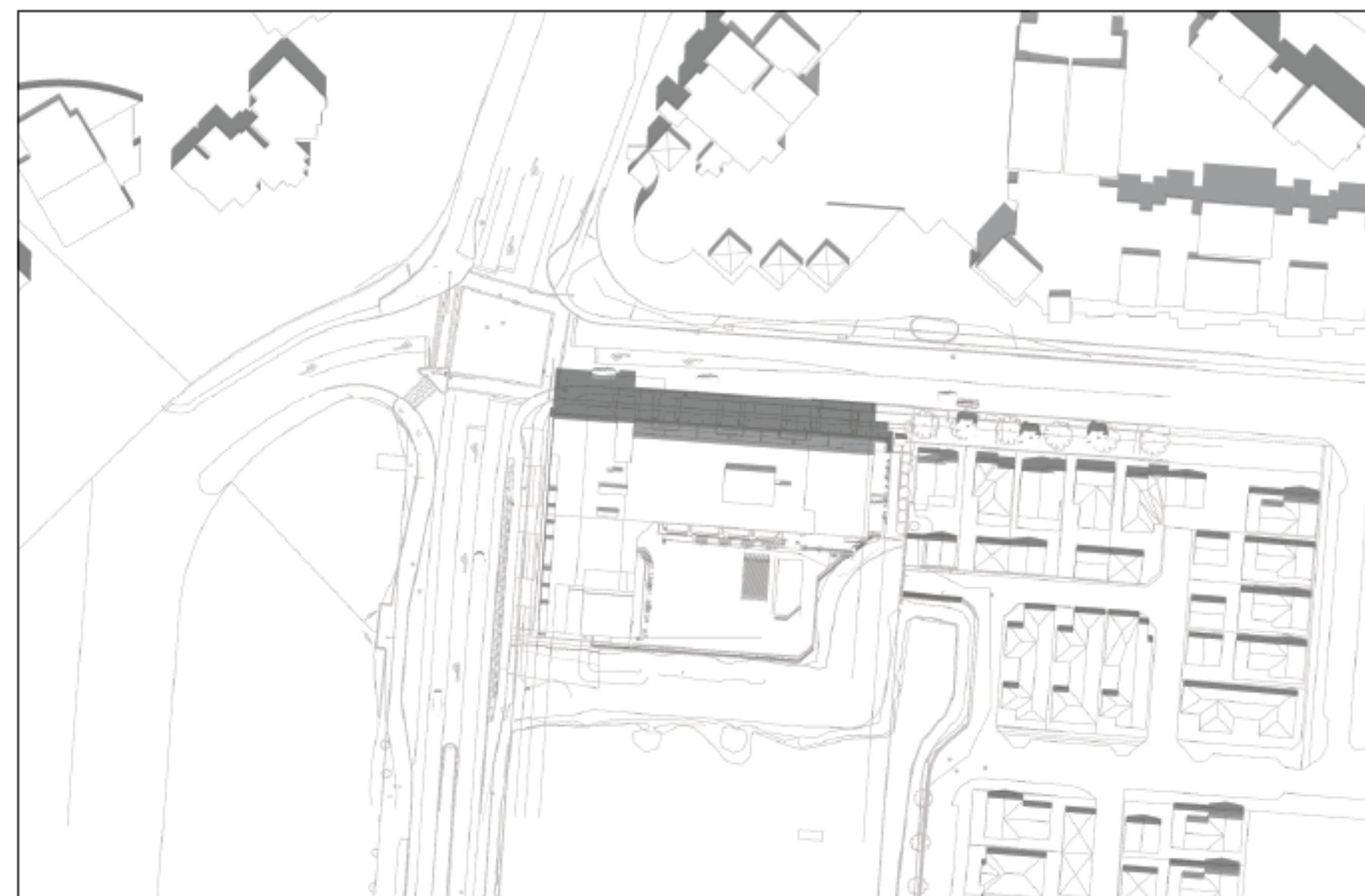
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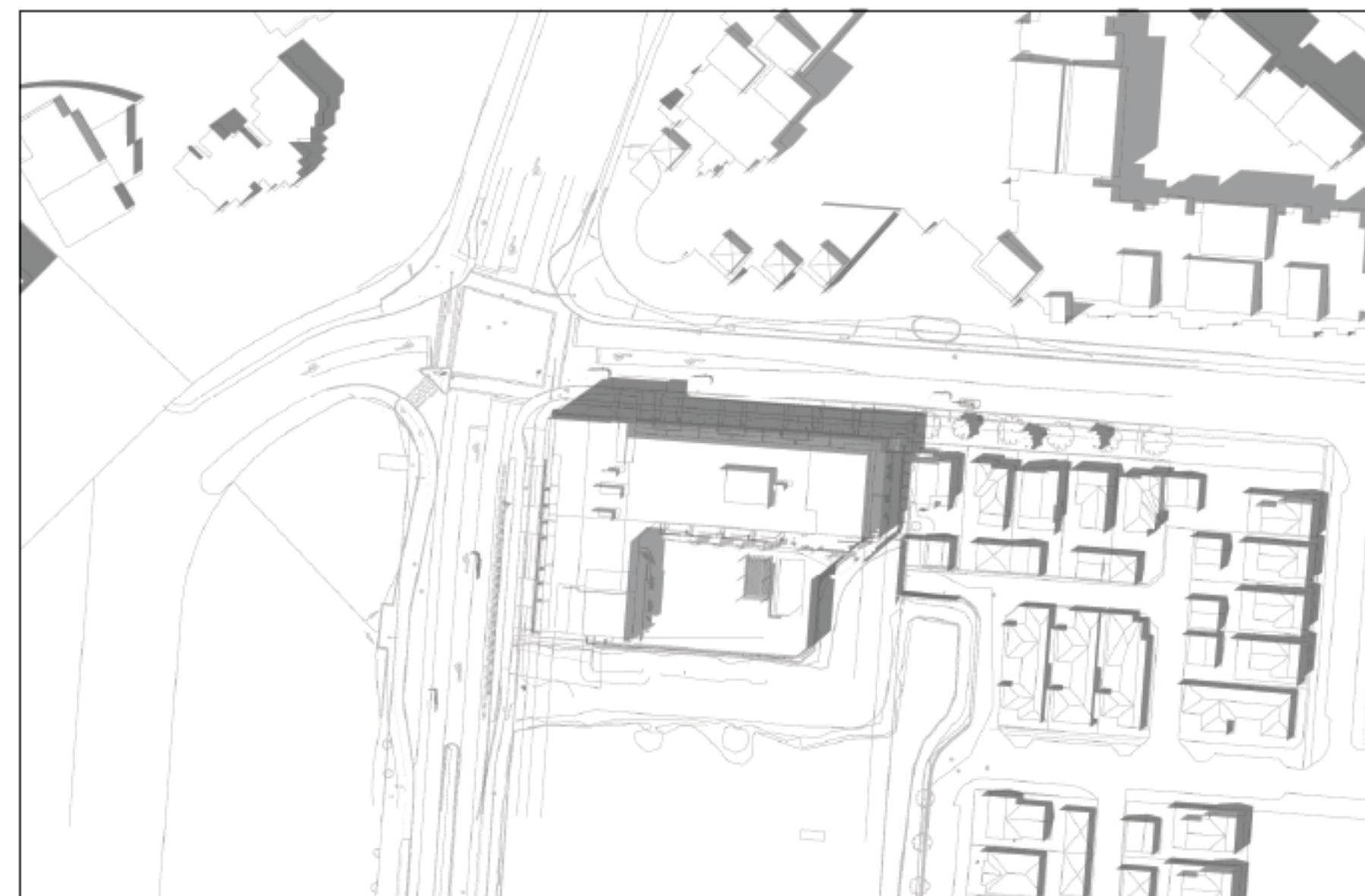
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JUNE 21 2:00 PM

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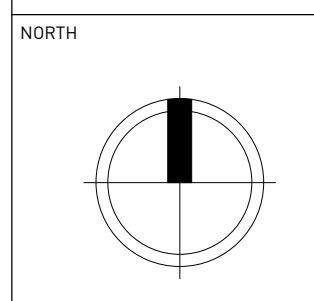


**FORMOSIS**  
architecture

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3805 Lakeshore Rd, Kelowna, BC

DRAWING  
SHADOW DIAGRAM

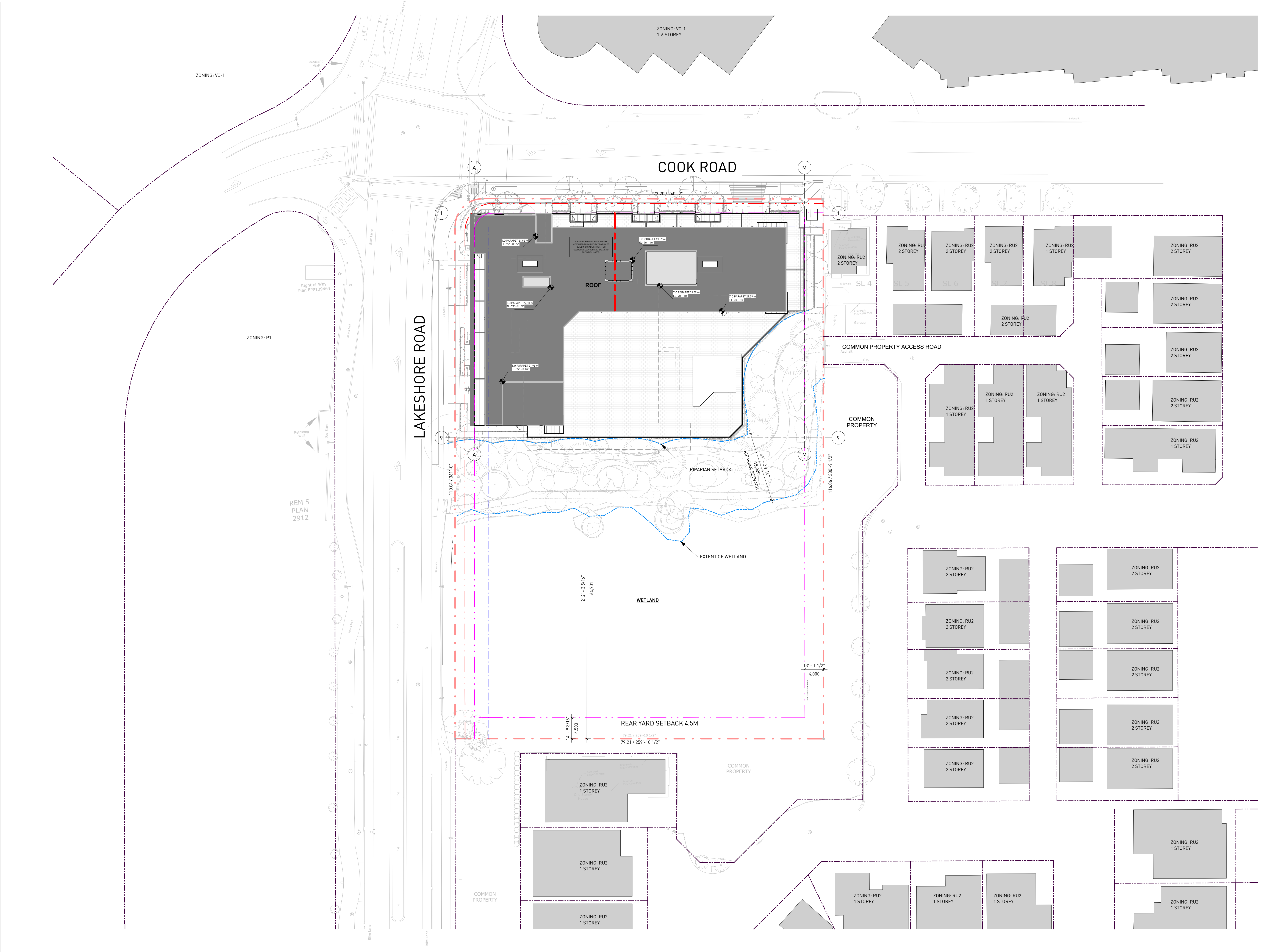
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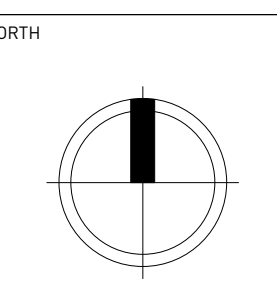
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CONTEXT PLAN

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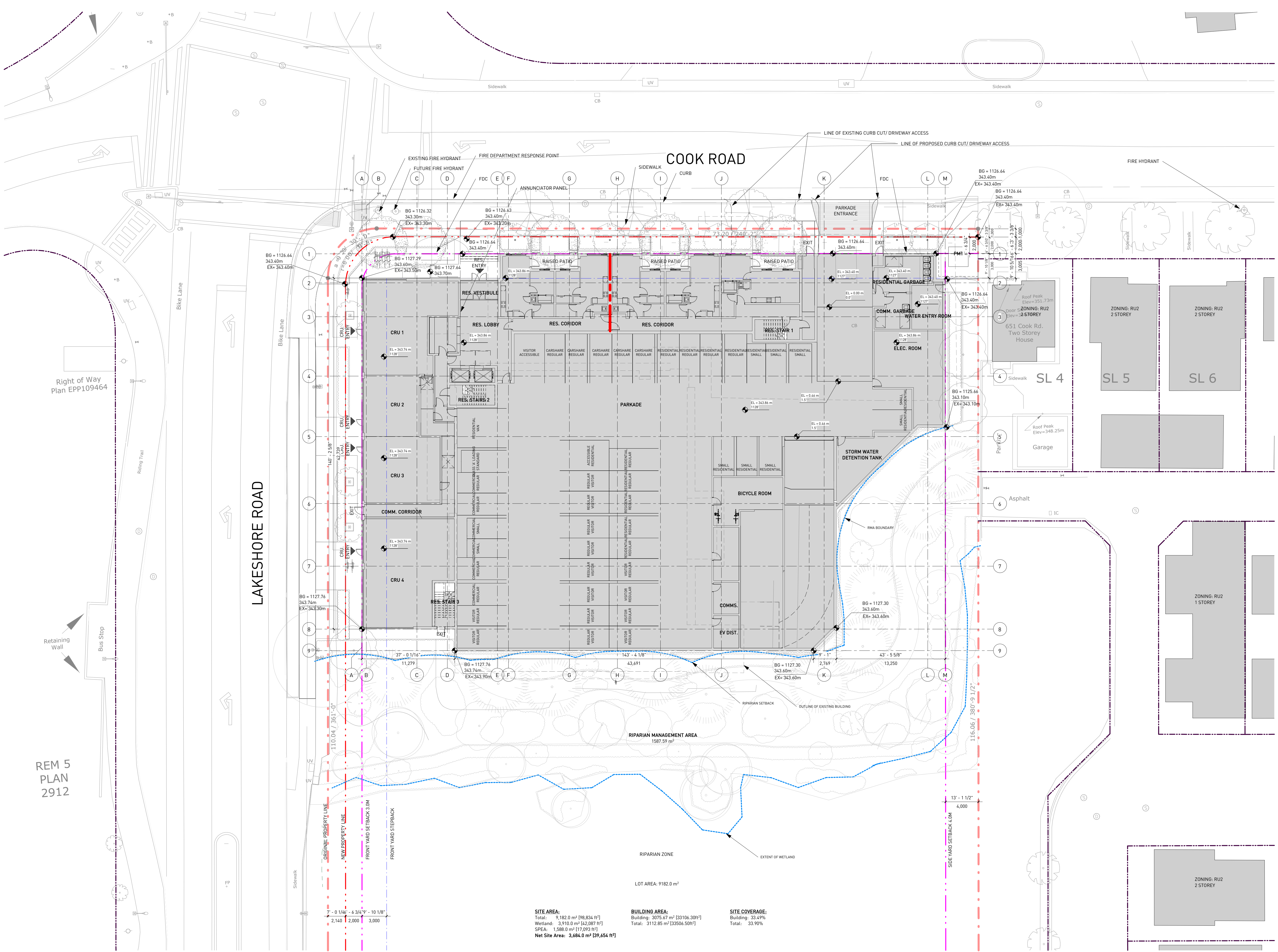
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DATE  
2024-03-18

SCALE  
1 : 350

DWG No.

A151



Right of Way  
Plan EPP109464

LAKESHORE ROAD

COOK ROAD

REM 5  
PLAN  
2912

**SITE AREA:**  
Total: 9,182.0 m<sup>2</sup> [98,834 ft<sup>2</sup>]  
Wetlands: 3,910.0 m<sup>2</sup> [42,087 ft<sup>2</sup>]  
SFEA: 1,388.0 m<sup>2</sup> [14,893 ft<sup>2</sup>]  
Net Site Area: 3,684.0 m<sup>2</sup> [39,654 ft<sup>2</sup>]

**BUILDING AREA:**  
Total: 3075.67 m<sup>2</sup> [33106.30ft<sup>2</sup>]  
Total: 3112.85 m<sup>2</sup> [33506.50ft<sup>2</sup>]

**SITE COVERAGE:**  
Building: 33.49%  
Total: 33.90%

LOT AREA: 9182.0 m<sup>2</sup>

RIPIARIAN MANAGEMENT AREA  
1587.59 m<sup>2</sup>

RIPIARIAN ZONE

EXTENT OF WETLAND

OUTLINE OF EXISTING BUILDING

RIPIARIAN SETBACK

RMA BOUNDARY

STORM WATER DETENTION TANK

BICYCLE ROOM

COMMS.

EV DIST.

COMM. CORRIDOR

CRU 4

CRU 3

CRU 2

CRU 1

RES. LOBBY

RES. CORRIDOR

RES. CORRIDOR

RES. CORRIDOR

RES. VESTIBULE

RES. ENTRY

RAISED PATIO

RAISED PATIO

RAISED PATIO

PARKADE

PARKADE ENTRANCE

ANNUNCIATOR PANEL

FIRE DEPARTMENT RESPONSE POINT

EXISTING FIRE HYDRANT

FUTURE FIRE HYDRANT

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CONSULTANT

DEVELOPER

**JIM PATTISON DEVELOPMENTS**

**FORMOSIS architecture**  
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formosis.ca

Project Number: 2210

DRAWING ISSUED	DATE
01 ISSUED FOR RE-ZONING DP	2023-05-05
02 ISSUED FOR ENVIRONMENTAL DP	2023-11-24
03 RE-ISSUED FOR RE-ZONING DP	2024-03-18



PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
SITE PLAN

LOCATION	DRAWN BY
VANCOUVER, BC	IK

DATE	SCALE
2024-03-18	1 : 200

DWG No.

A152

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CONSULTANT

DEVELOPER



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02 ISSUED FOR ENVIRONMENTAL DP	2023-11-24
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NORTH	SEAL

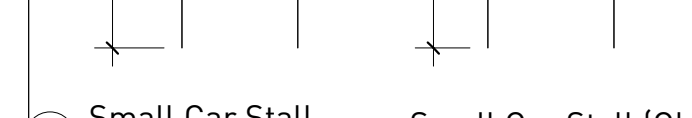
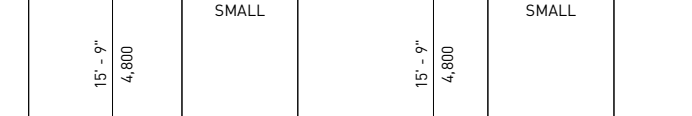
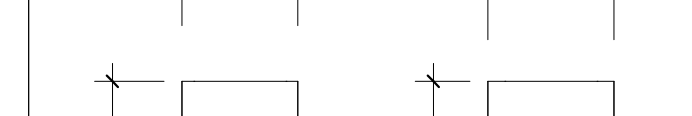
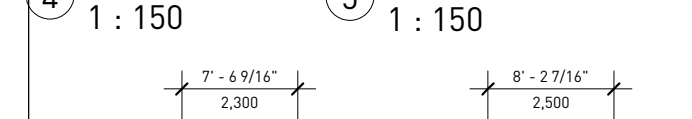
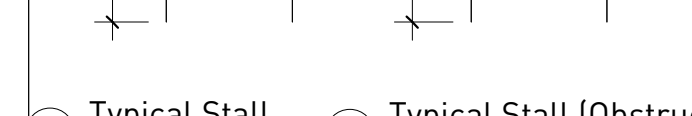
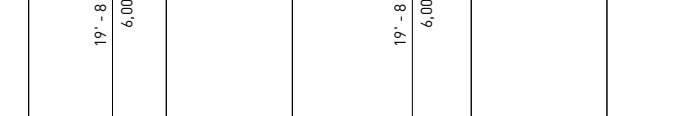
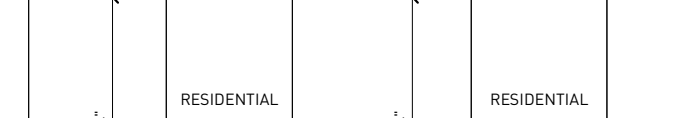
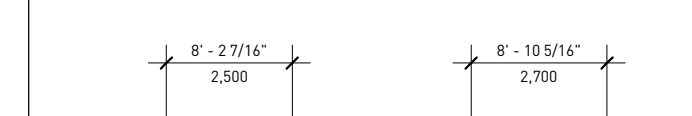
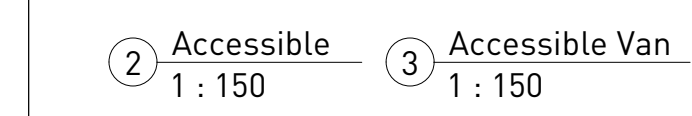
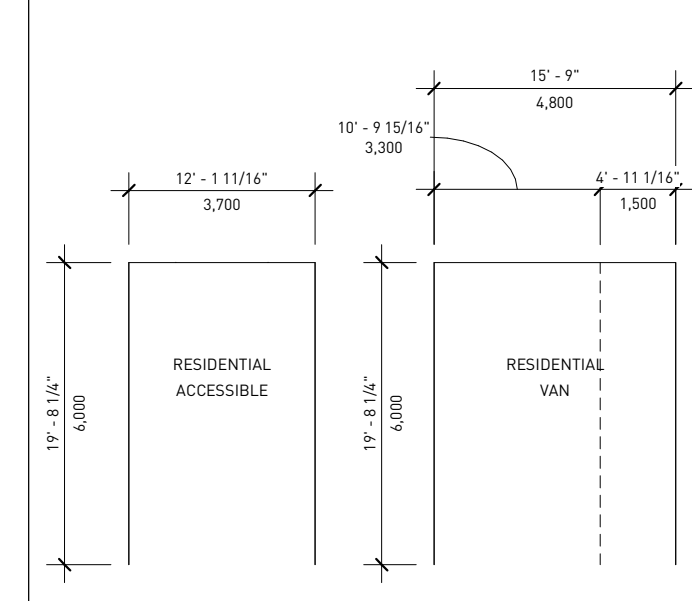
PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
LEVEL 1

LOCATION VANCOUVER, BC	DRAWN BY IK
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DATE 2024-03-18	SCALE 1 : 150
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DWG No.

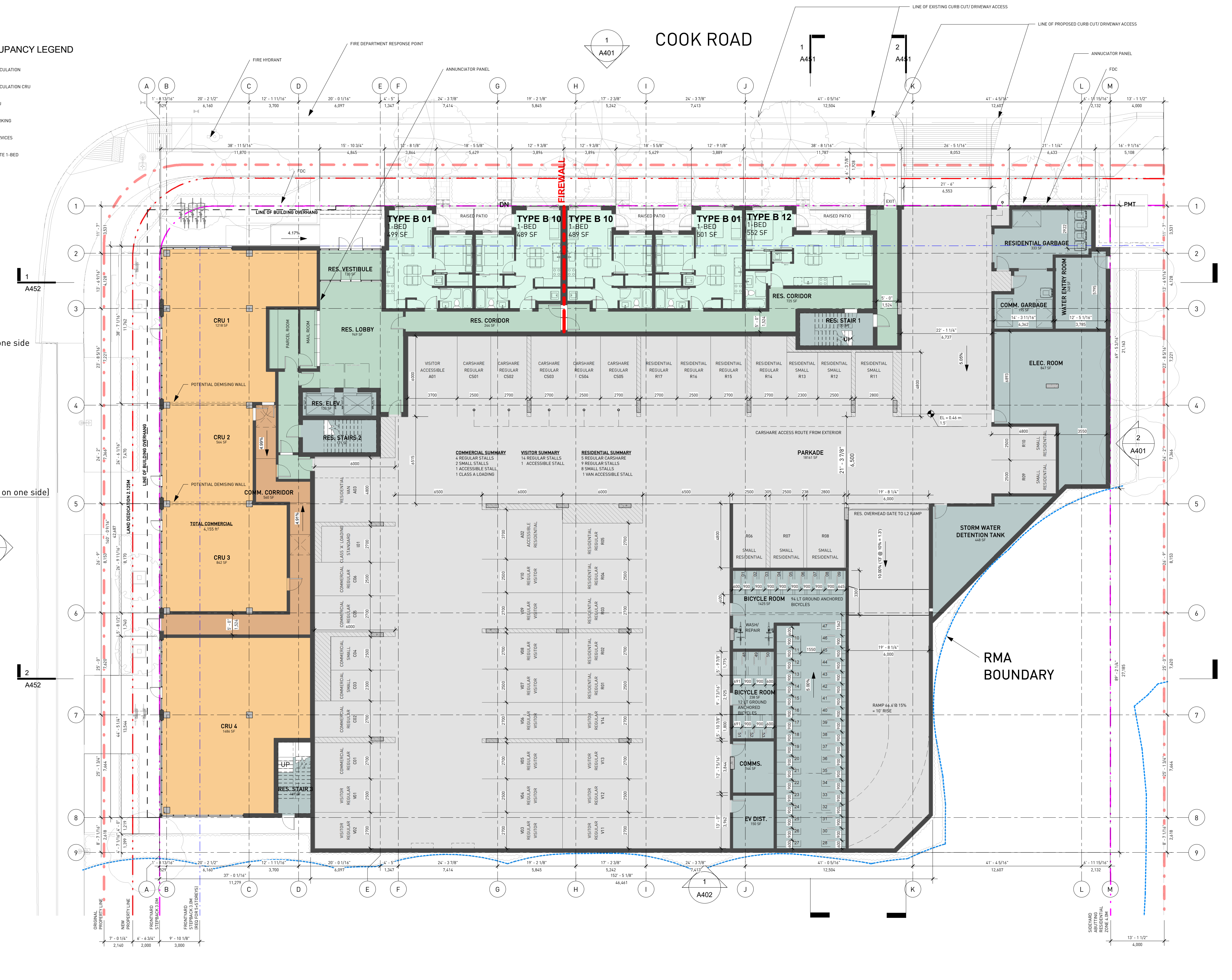


**OCCUPANCY LEGEND**

- CIRCULATION
- CIRCULATION CRU
- CRU
- PARKING
- SERVICES
- SUITE 1-BED

LAKESHORE ROAD

COOK ROAD



LEVEL 1  
1 : 150



OCCUPANCY LEGEND

- CIRCULATION
- COMMON AREA
- SERVICES
- SUITE 1-BED
- SUITE 2-BED
- SUITE 3-BED
- SUITE - STUDIO

LAKESHORE ROAD

COOK ROAD



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CONSULTANT

DEVELOPER



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DRAWING ISSUED

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02	ISSUED FOR ENVIRONMENTAL DP	2023-11-24
03	RE-ISSUED FOR RE-ZONING DP	2024-03-18

NORTH

SEAL

PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
LEVEL 3

LOCATION  
VANCOUVER, BC

DRAWN BY  
IK

DATE  
2024-03-18

SCALE  
1 : 150

DWG No.

OCCUPANCY LEGEND

- CIRCULATION
- SERVICES
- SUITE 1-BED
- SUITE 2-BED
- SUITE 3-BED

LAKESHORE ROAD

COOK ROAD



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NORTH 	SEAL 
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PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
LEVEL 4

LOCATION VANCOUVER, BC	DRAWN BY IK
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DATE 2024-03-18	SCALE 1 : 150
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DWG No.

OCCUPANCY LEGEND

- CIRCULATION
- SERVICES
- SUITE 1-BED
- SUITE 2-BED
- SUITE 3-BED

LAKESHORE ROAD

COOK ROAD



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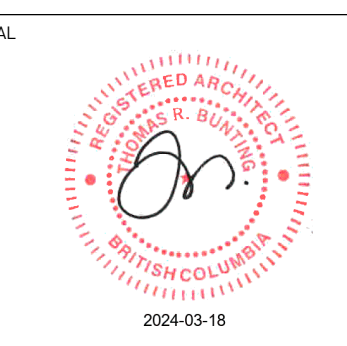
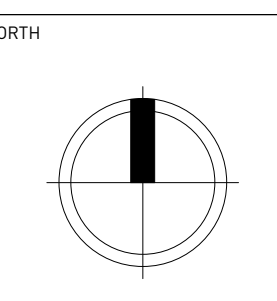
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PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
LEVEL 5

LOCATION  
VANCOUVER, BC

DRAWN BY  
IK

DATE  
2024-03-18

SCALE  
1 : 150

DWG No.

OCCUPANCY LEGEND

- CIRCULATION
- SERVICES
- SUITE 1-BED
- SUITE 2-BED
- SUITE 3-BED

LAKESHORE ROAD

COOK ROAD



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CONSULTANT

DEVELOPER



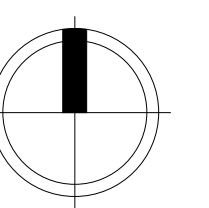
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Project Number: 2210

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NORTH



SEAL



PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
LEVEL 6

LOCATION VANCOUVER, BC DRAWN BY IK

DATE 2024-03-18 SCALE 1 : 150

DWG No.





1 Elevation - North  
1 : 150



2 Elevation - East  
1 : 150

- AL-01 - ALUMINUM STOREFRONT GLAZING, DARK GRAY ANODIZED ALUMINUM
- CN-01 - ARCHITECTURAL CONCRETE WITH VERTICAL REVEALS AND ELASTOMERIC PAINT, LIGHT GRAY, BEIGE
- CP-01 - FIBRE CEMENT PANEL, DARK GRAY
- MT-01 - PRE-FINISHED SINGLE SKIN METAL PANEL CLADDING, COPPER COLOUR.
- MT-02 - PRE-FINISHED METAL PANEL VCLADDING, DARK GRAY COLOUR.
- MT-03 - PRE-FINISHED PERFORATED METAL SCREEN 50% OPEN AREA, CHARCOAL
- MT-04 - PRE-FINISHED PERFORATED METAL SCREEN 50% OPEN AREA, WHITE
- MT-05 - PRE-FINISHED SINGLE SKIN METAL PANEL CLADDING, WHITE
- GL-01 - TEMPERED, OBSCURED GLASS PRIVACY SCREEN W/ ALUMINUM SUPPORT FRAME
- BR-01 - BRICK CLADDING WHITE
- VW-01 - DOUBLE GLAZED VINYL FRAMED WINDOW, BLACK FRAME
- AL-02 - PRE-FINISHED ALUMINUM LOUVRE, DARK GREY
- GL-02 - TEMPERED GLASS FENCE W/ ALUMINUM SUPPORT FRAME

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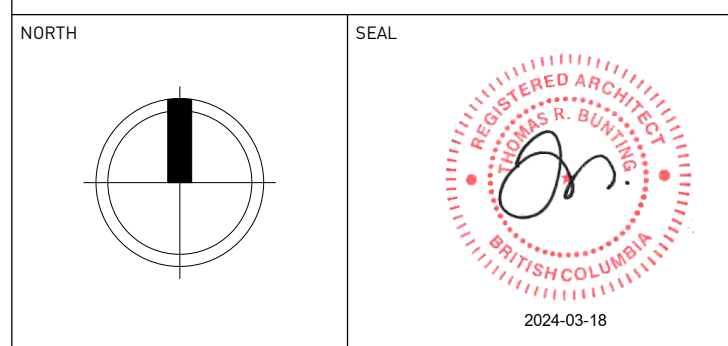
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CONSULTANT  
  
DEVELOPER



Project Number: 2210

DRAWING ISSUED	
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03	RE-ISSUED FOR RE-ZONING DP 2024-03-18



PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
BUILDING ELEVATIONS A

LOCATION VANCOUVER, BC DRAWN BY IK

DATE 2024-03-18 SCALE As indicated

DWG No.

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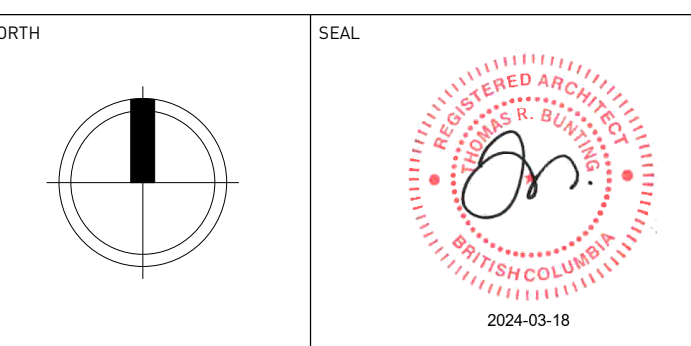
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PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
BUILDING ELEVATIONS B

LOCATION VANCOUVER, BC DRAWN BY IK

DATE 2024-03-18 SCALE As indicated

DWG No.

A402

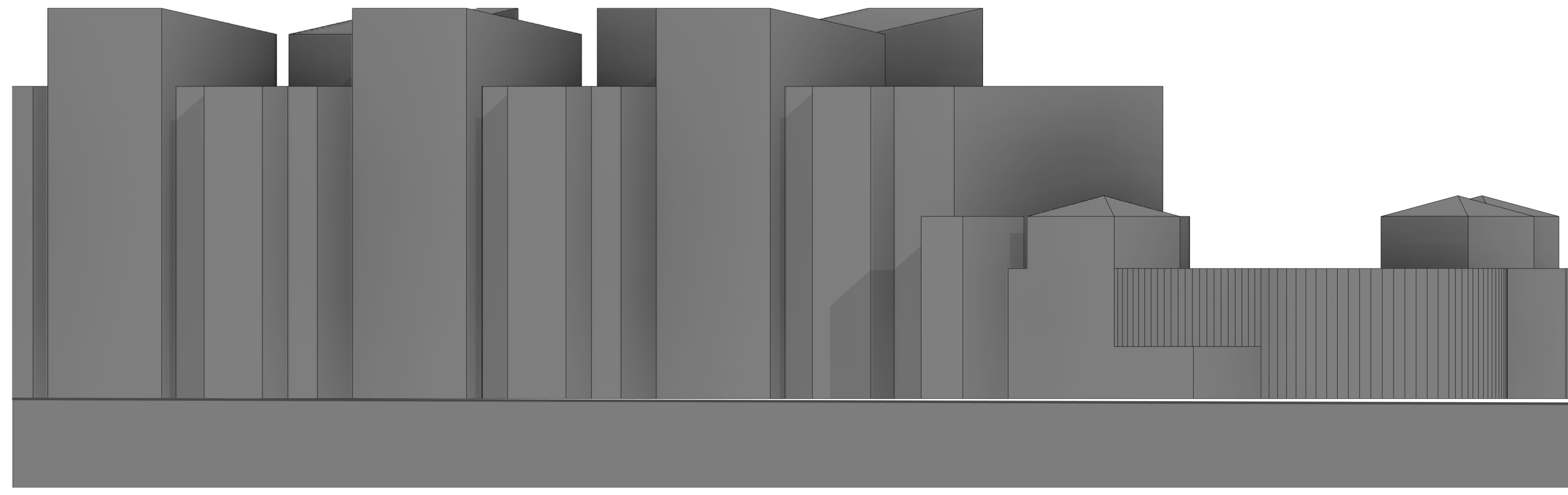


① Elevation - South  
1 : 150

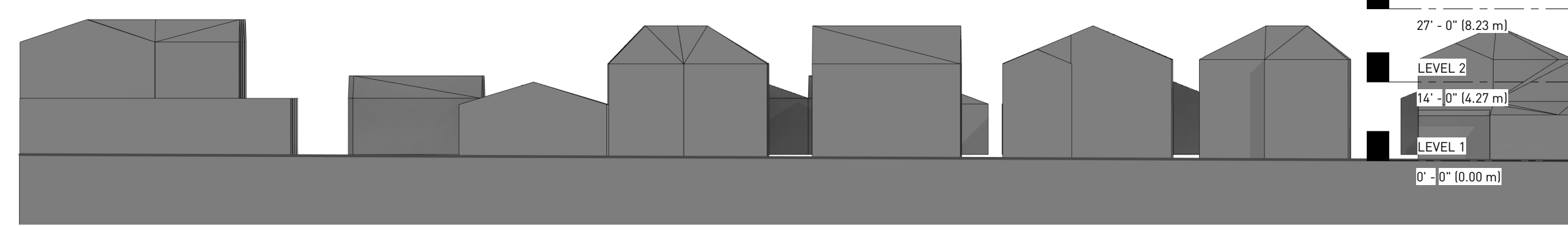


② Elevation - West  
1 : 150

- AL-01 - ALUMINUM STOREFRONT GLAZING, DARK GRAY ANODIZED ALUMINUM
- CN-01 - ARCHITECTURAL CONCRETE WITH VERTICAL REVEALS AND ELASTOMERIC PAINT, LIGHT GRAY, BEIGE
- CP-01 - FIBRE CEMENT PANEL, DARK GRAY
- MT-01 - PRE-FINISHED SINGLE SKIN METAL PANEL CLADDING, COPPER COLOUR.
- MT-02 - PRE-FINISHED METAL PANEL VCLADDING, DARK GRAY COLOUR.
- MT-03 - PRE-FINISHED PERFORATED METAL SCREEN 50% OPEN AREA, CHARCOAL
- MT-04 - PRE-FINISHED PERFORATED METAL SCREEN 50% OPEN AREA, WHITE
- MT-05 - PRE-FINISHED SINGLE SKIN METAL PANEL CLADDING, WHITE
- GL-01 - TEMPERED, OBSCURED GLASS PRIVACY SCREEN W/ ALUMINUM SUPPORT FRAME
- BR-01 - BRICK CLADDING WHITE
- VW-01 - DOUBLE GLAZED VINYL FRAMED WINDOW, BLACK FRAME
- AL-02 - PRE-FINISHED ALUMINUM LOUVRE, DARK GREY
- GL-02 - TEMPERED GLASS FENCE W/ ALUMINUM SUPPORT FRAME



① STREET ELEV A  
1 : 250



② STREET ELEV B  
1 : 250

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DEVELOPER



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DRAWING ISSUED	
01 ISSUED FOR RE-ZONING DP	2023-05-05
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03 RE-ISSUED FOR RE-ZONING DP	2024-03-18

NORTH 	SEAL 
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PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
STREET ELEVATION

LOCATION VANCOUVER, BC	DRAWN BY IK
DATE 2024-03-18	SCALE 1 : 250

DWG No.  
  
**A403**

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CONSULTANT

DEVELOPER



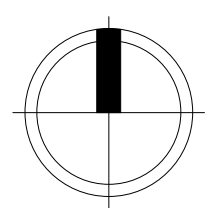
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03	RE-ISSUED FOR RE-ZONING DP	2024-03-18

NORTH



SEAL



PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
COLOUR BOARD

LOCATION  
VANCOUVER, BC

DRAWN BY  
IK

DATE  
2024-03-18

SCALE  
1 : 50

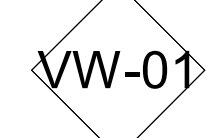
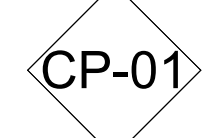
DWG No.

A404



- AL-01 - ALUMINUM STOREFRONT GLAZING, DARK GRAY ANODIZED ALUMINUM
- CN-01 - ARCHITECTURAL CONCRETE WITH VERTICAL REVEALS AND ELASTOMERIC PAINT, LIGHT GRAY, BEIGE
- CP-01 - FIBRE CEMENT PANEL, DARK GRAY
- MT-01 - PRE-FINISHED SINGLE SKIN METAL PANEL CLADDING, COPPER COLOUR.
- MT-02 - PRE-FINISHED METAL PANEL VCLADDING, DARK GRAY COLOUR.
- MT-03 - PRE-FINISHED PERFORATED METAL SCREEN 50% OPEN AREA, CHARCOAL
- MT-04 - PRE-FINISHED PERFORATED METAL SCREEN 50% OPEN AREA, WHITE
- MT-05 - PRE-FINISHED SINGLE SKIN METAL PANEL CLADDING, WHITE
- GL-01 - TEMPERED, OBSCURED GLASS PRIVACY SCREEN W/ ALUMINUM SUPPORT FRAME
- BR-01 - BRICK CLADDING WHITE
- VW-01 - DOUBLE GLAZED VINYL FRAMED WINDOW, BLACK FRAME
- AL-02 - PRE-FINISHED ALUMINUM LOUVRE, DARK GREY
- GL-02 - TEMPERED GLASS FENCE W/ ALUMINUM SUPPORT FRAME

1 COLOUR BOARD  
1 : 50





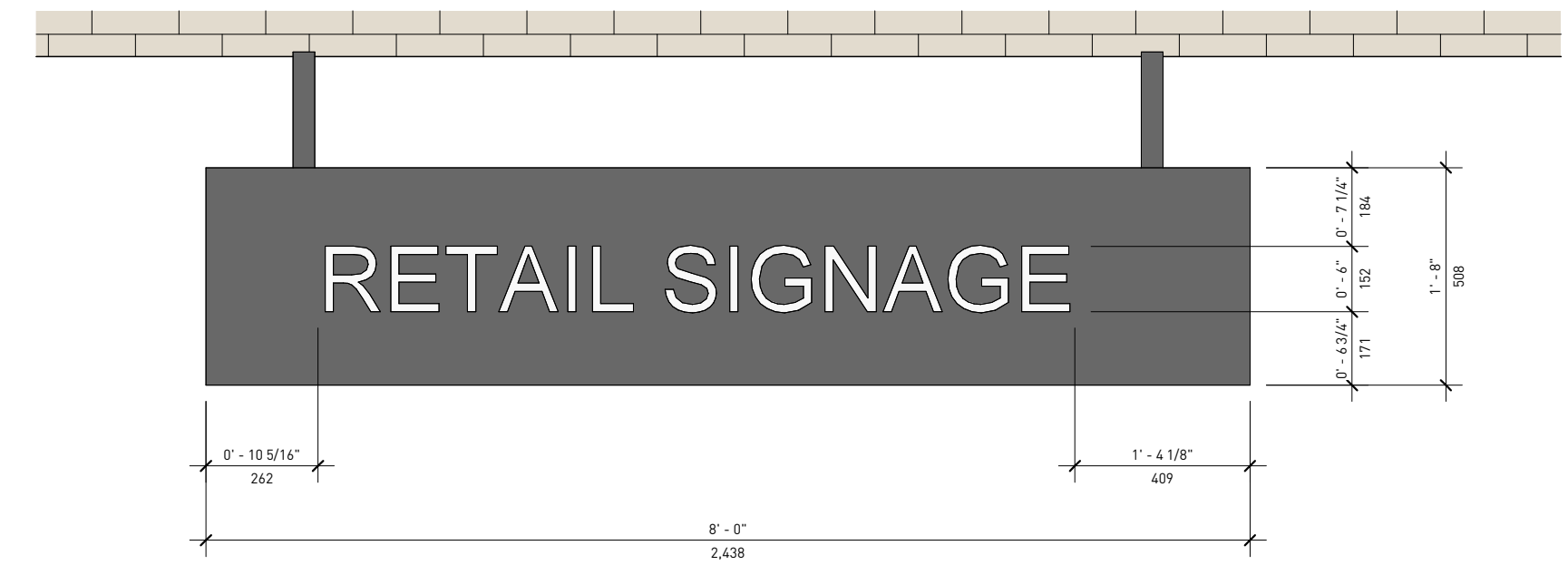
① West Elevation Signage  
1 : 50



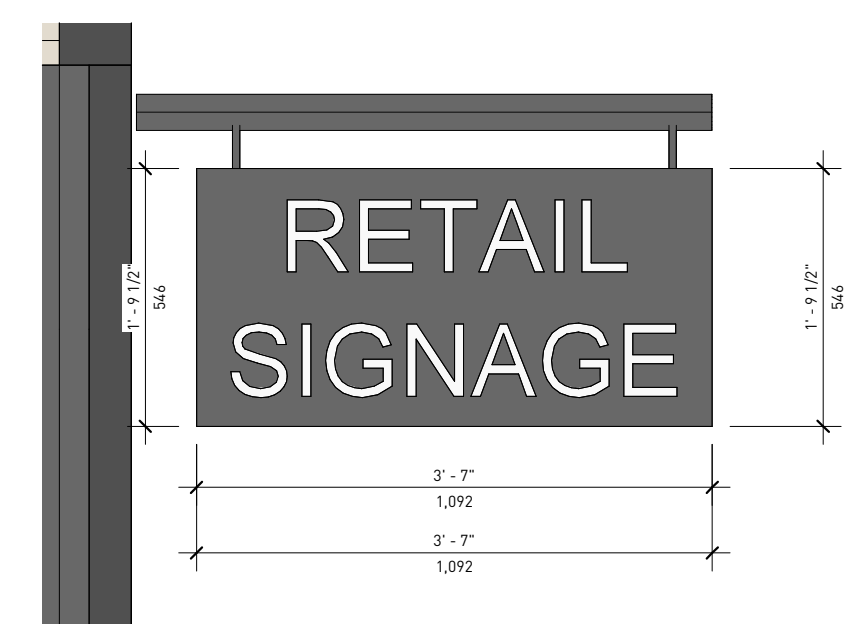
④ North Signage (entry)  
1 : 50



⑤ North Signage  
1 : 50



② Signage Type A  
3/4" = 1'-0"



③ Signage Type B  
3/4" = 1'-0"

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CONSULTANT

DEVELOPER

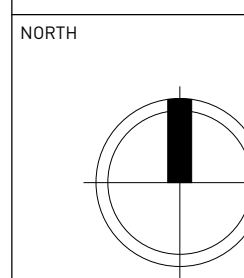


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Project Number: 2210

DRAWING ISSUED

01	ISSUED FOR RE-ZONING DP	2023-05-05
02	ISSUED FOR ENVIRONMENTAL DP	2023-11-24
03	RE-ISSUED FOR RE-ZONING DP	2024-03-18



PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
BUILDING SIGNAGE

LOCATION  
VANCOUVER, BC

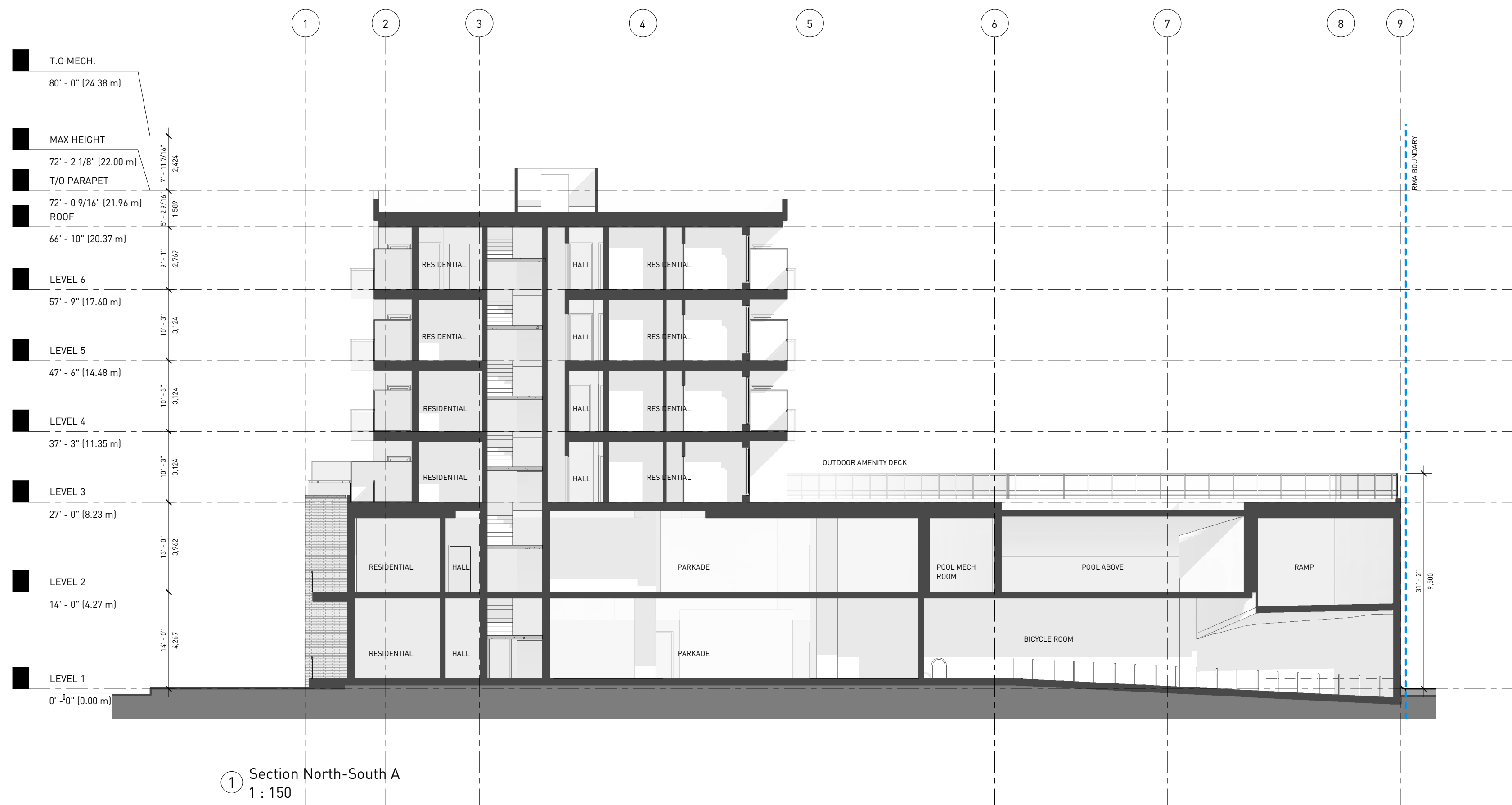
DRAWN BY  
IK

DATE  
2024-03-18

SCALE  
As indicated

DWG No.

A405



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CONSULTANT

DEVELOPER



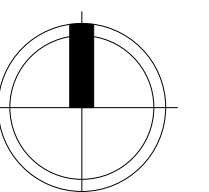
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Project Number: 2210

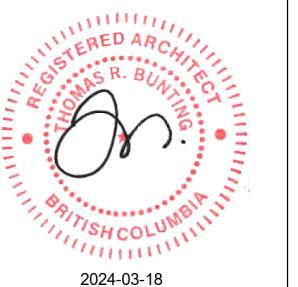
DRAWING ISSUED

01	ISSUED FOR RE-ZONING DP	2023-05-05
02	ISSUED FOR ENVIRONMENTAL DP	2023-11-24
03	RE-ISSUED FOR RE-ZONING DP	2024-03-18

NORTH



SEAL



PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
BUILDING SECTION A

LOCATION  
VANCOUVER, BC

DRAWN BY  
IK

DATE  
2024-03-18

SCALE  
1 : 150

DWG No.

A451

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CONSULTANT

DEVELOPER

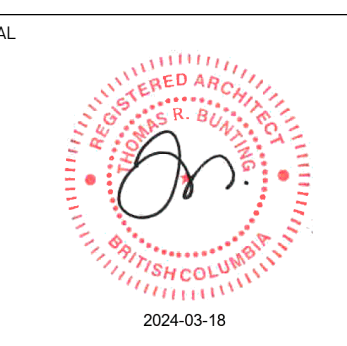
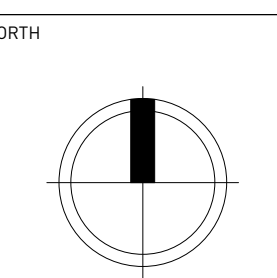
**JIM PATTISON DEVELOPMENTS**

**FORMOSIS architecture**

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Project Number: 2210

DRAWING ISSUED	
01 ISSUED FOR RE-ZONING DP	2023-05-05
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03 RE-ISSUED FOR RE-ZONING DP	2024-03-18



PROJECT  
**MIXED-USE RESIDENTIAL DEVELOPMENT**  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
**BUILDING SECTION B**

LOCATION  
**VANCOUVER, BC**

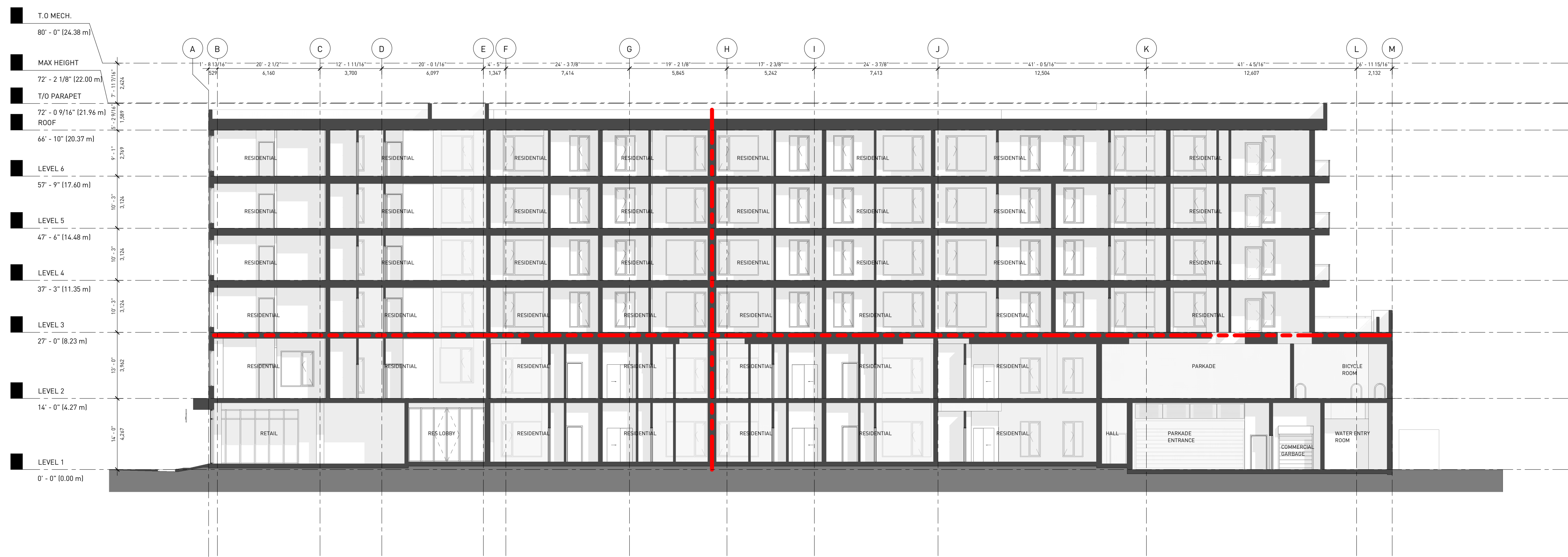
DRAWN BY  
**IK**

DATE  
**2024-03-18**

SCALE  
**1 : 150**

DWG No.

**A452**



1 Section West-East A  
1 : 150



2 Section West-East B  
1 : 150

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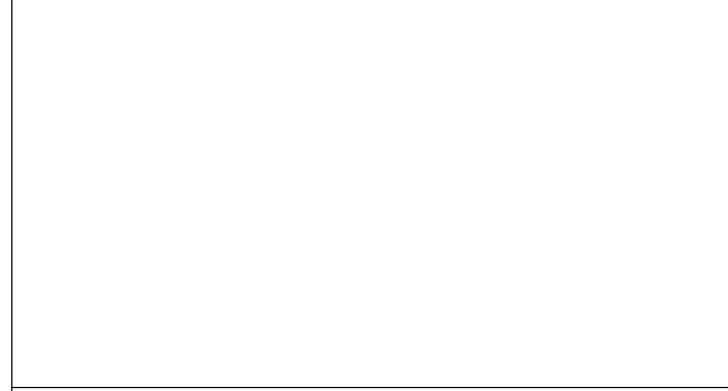
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CONSULTANT

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PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
UNIT LAYOUTS A

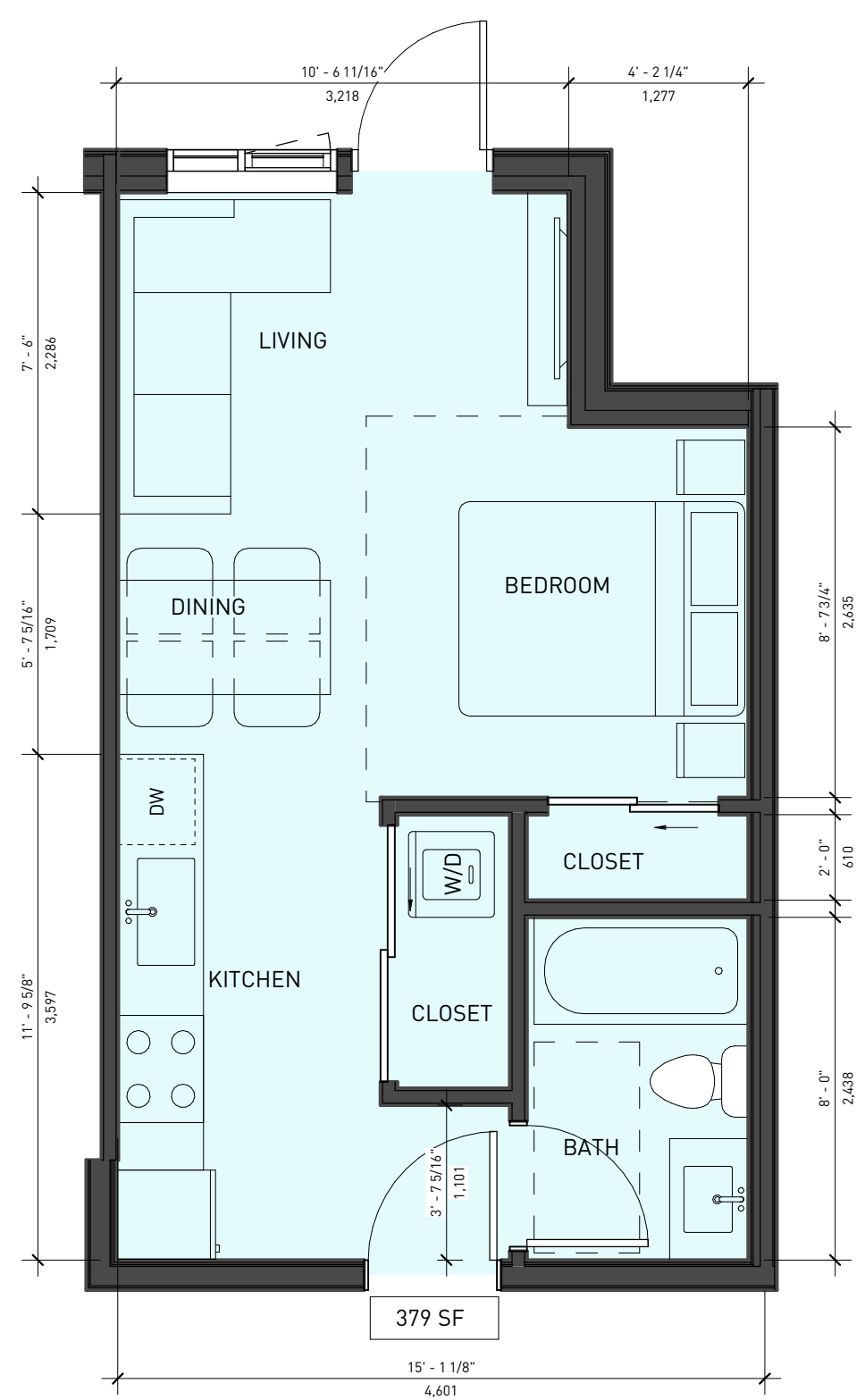
LOCATION  
VANCOUVER, BC

DRAWN BY  
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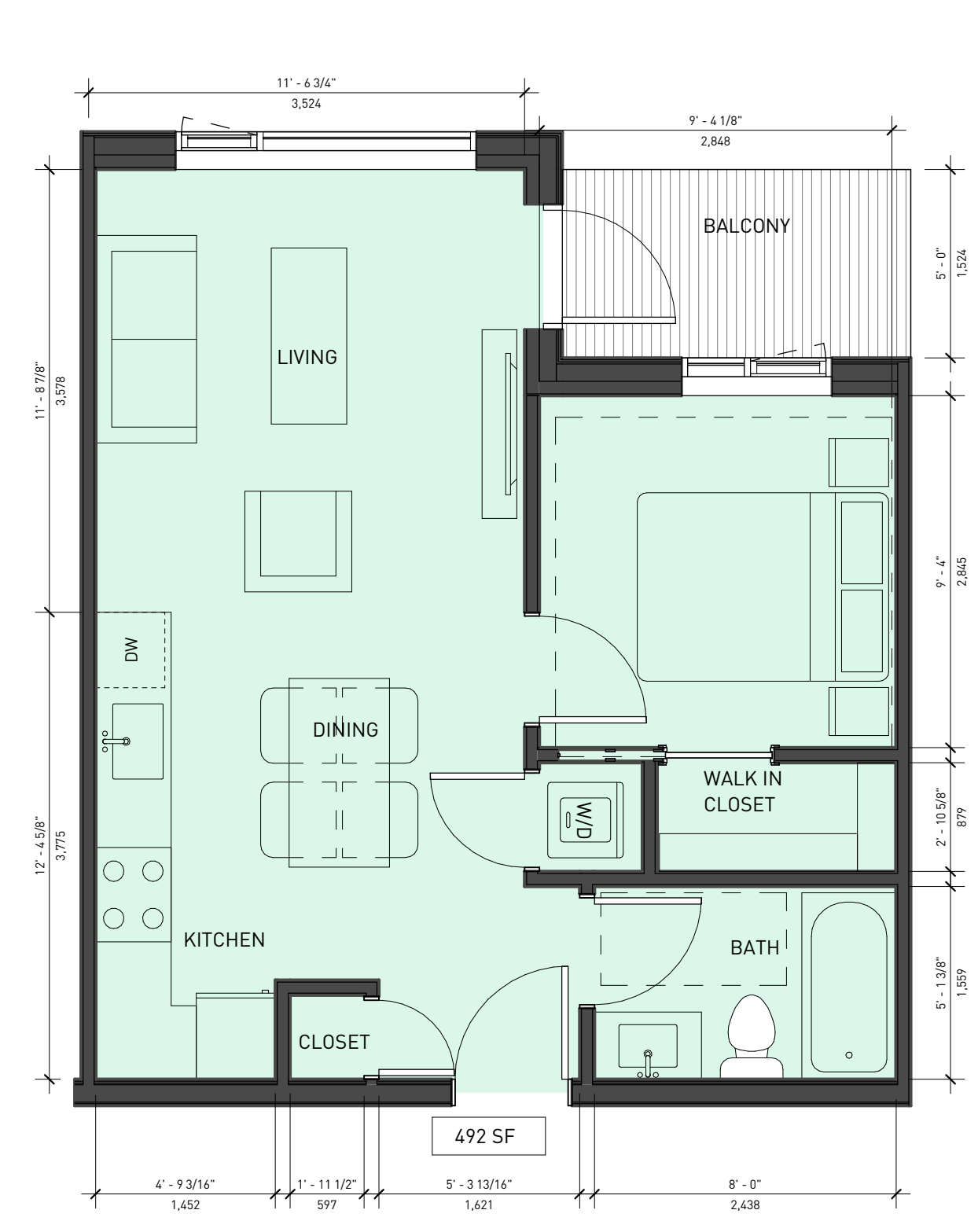
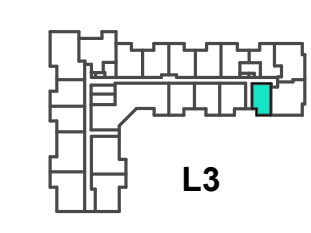
DATE  
2024-03-18

SCALE  
As indicated

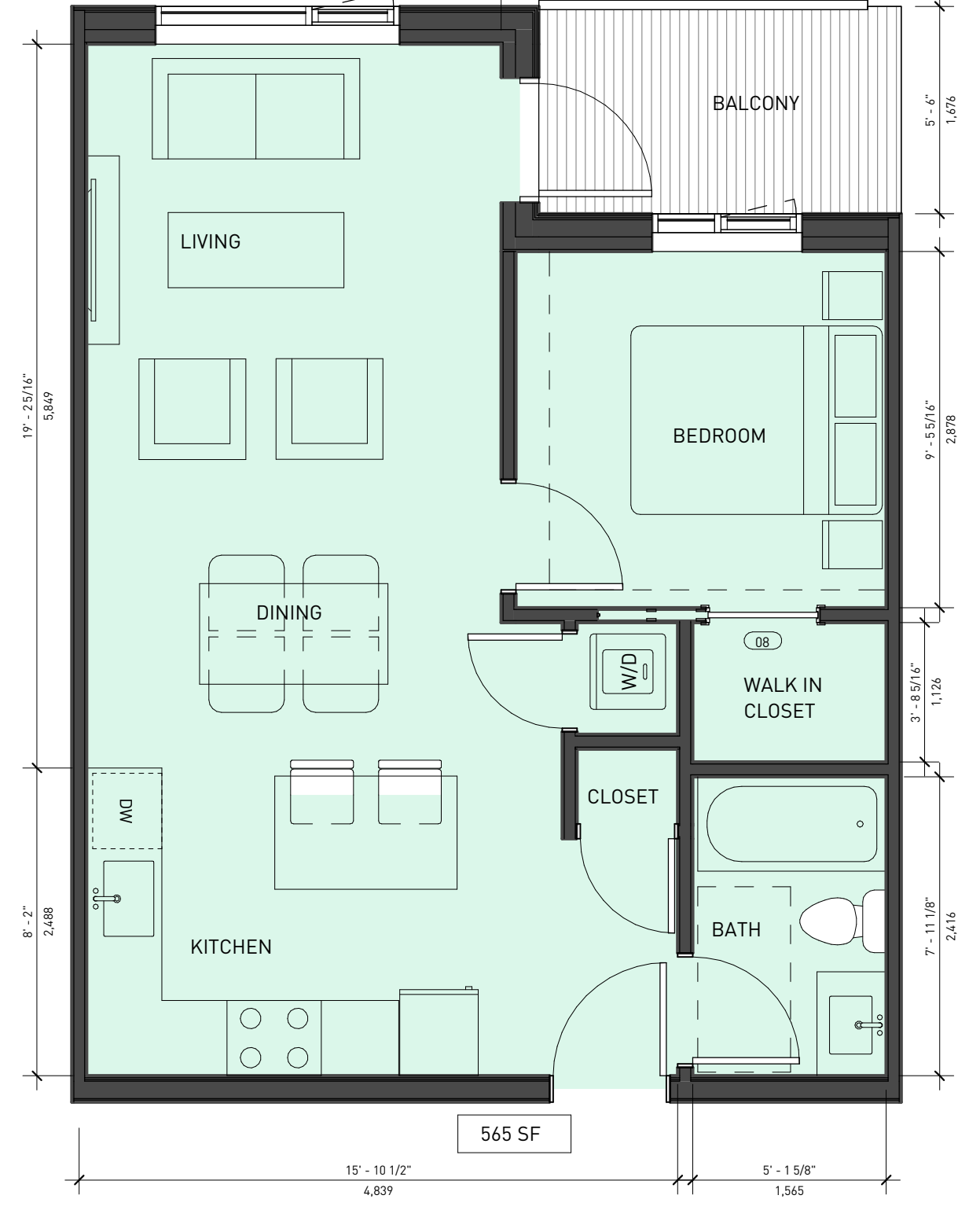
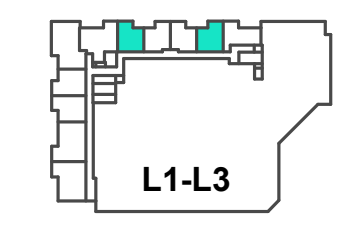
DWG No.



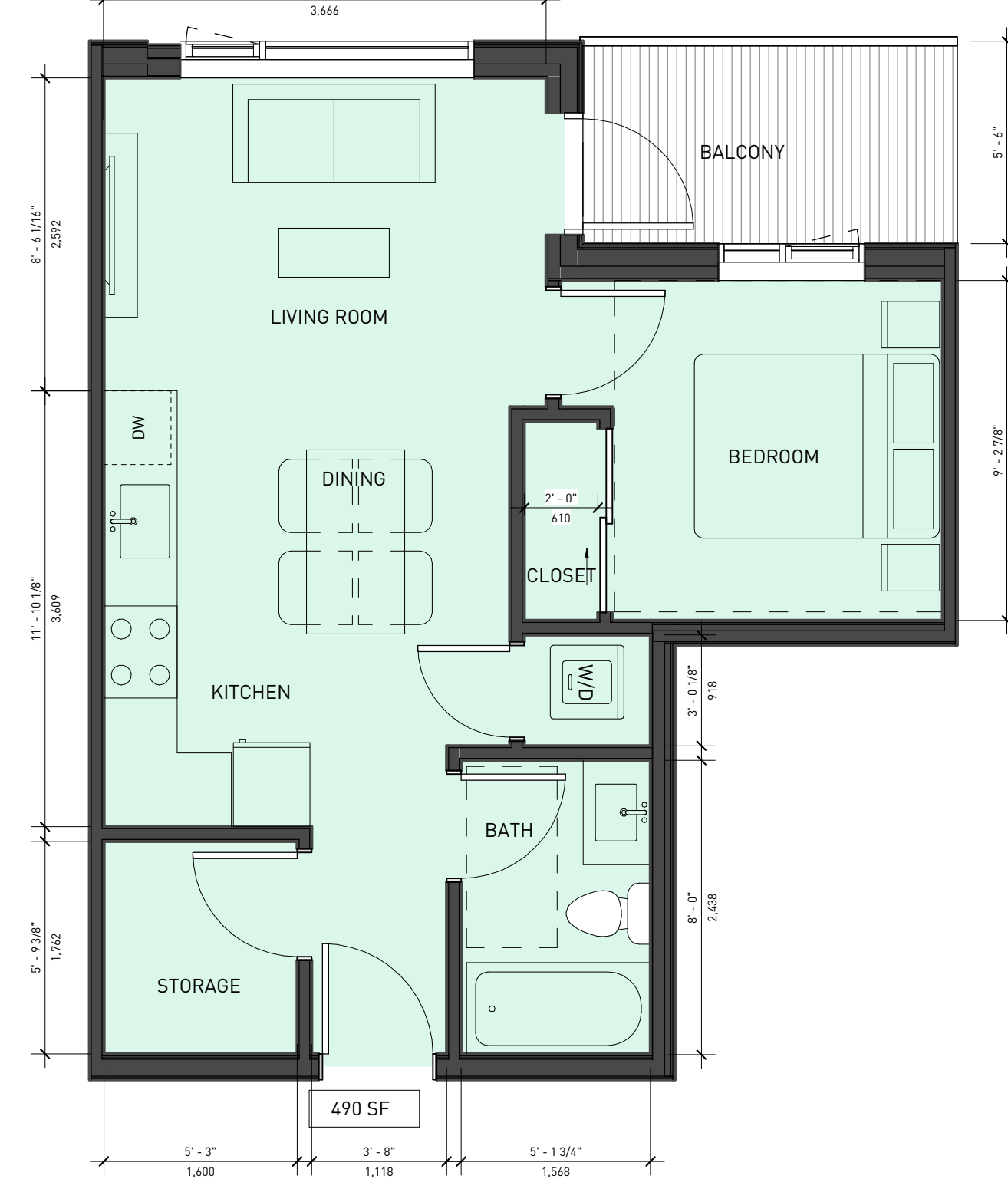
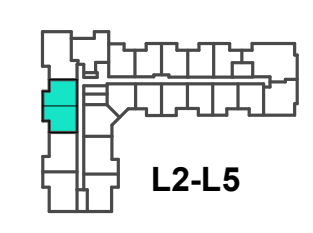
1 Studio - 1 (A 01)  
1/4" = 1'-0"



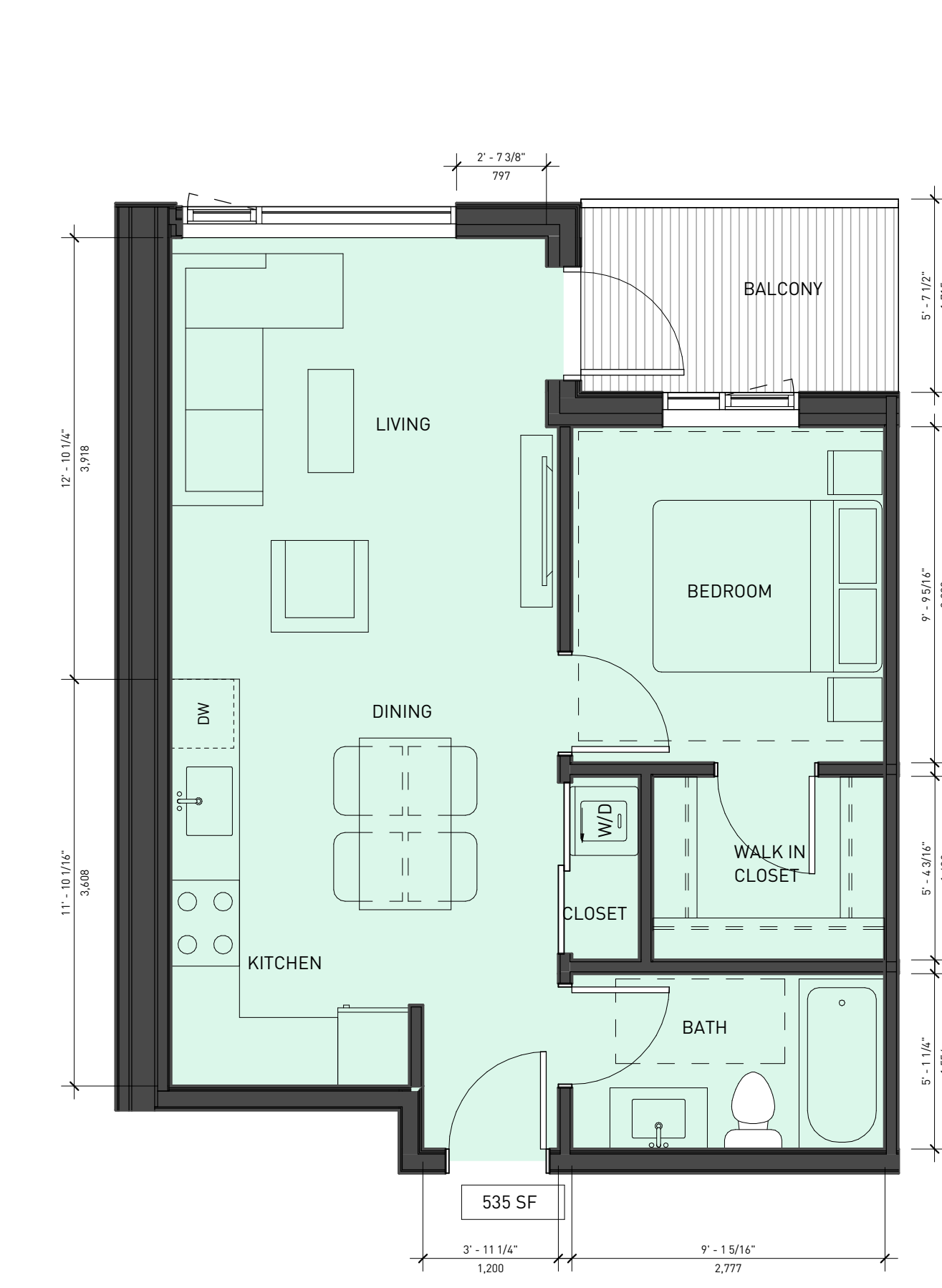
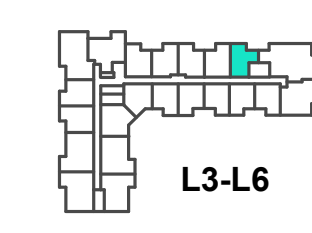
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1/4" = 1'-0"



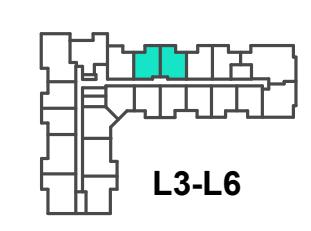
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1/4" = 1'-0"



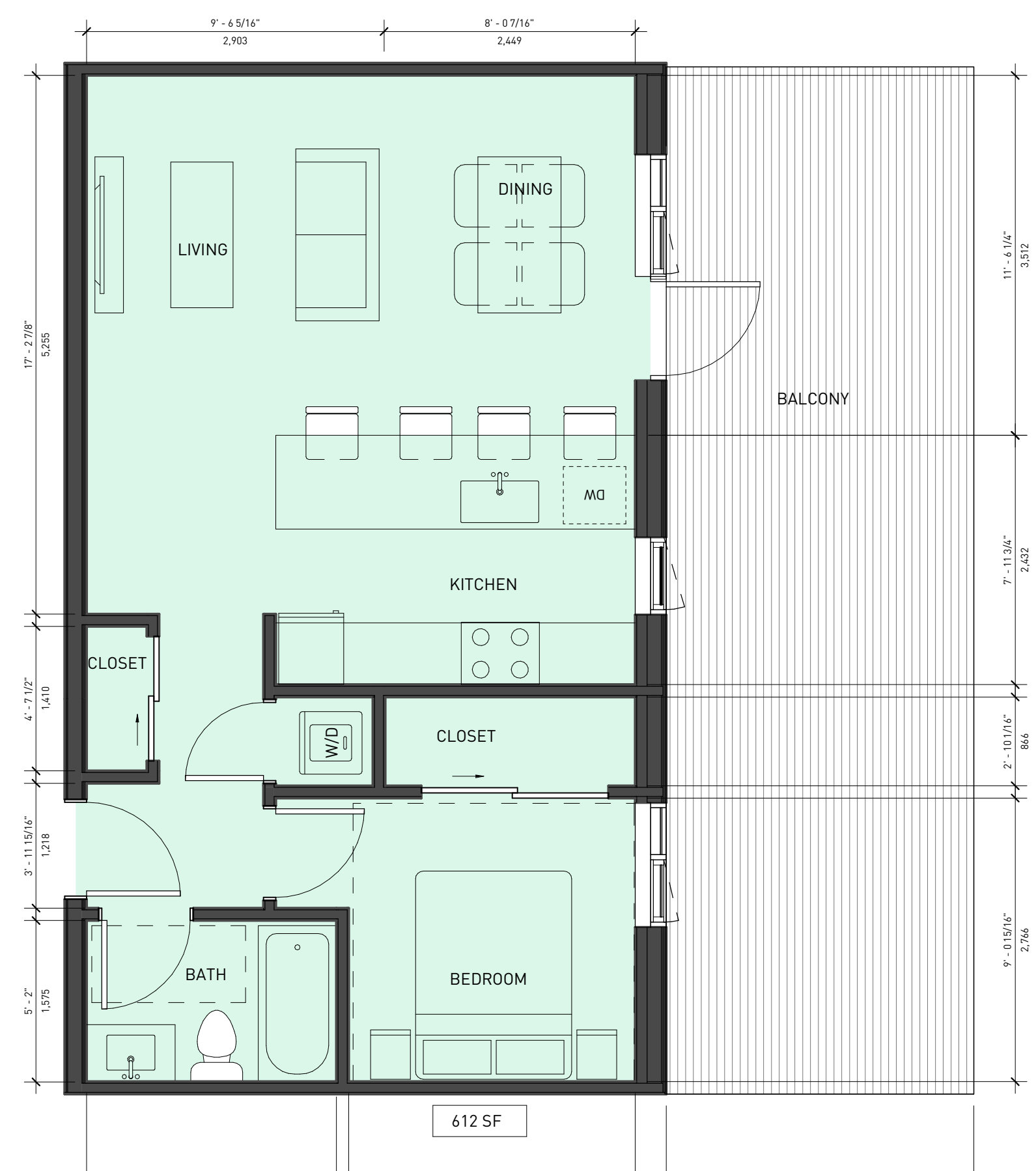
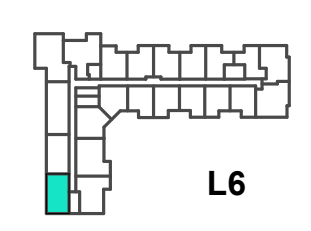
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1/4" = 1'-0"



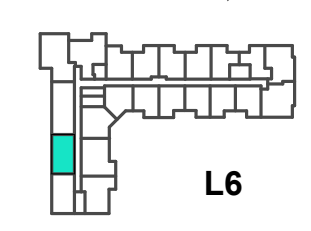
7 1-Bed - 4 (B 04)  
1/4" = 1'-0"



5 1-Bed - 5 (B 05)  
1/4" = 1'-0"



6 1-Bed - 5a (B 05a)  
1/4" = 1'-0"



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CONSULTANT

DEVELOPER

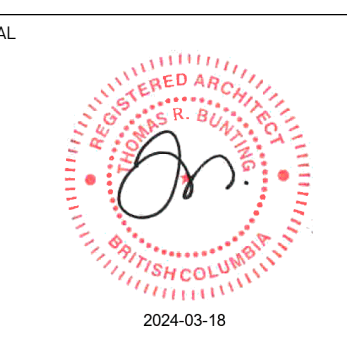
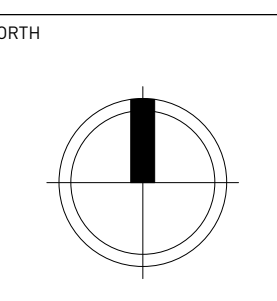


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PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
UNIT LAYOUTS B

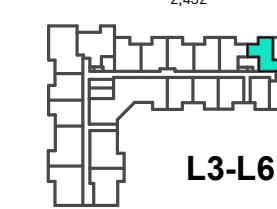
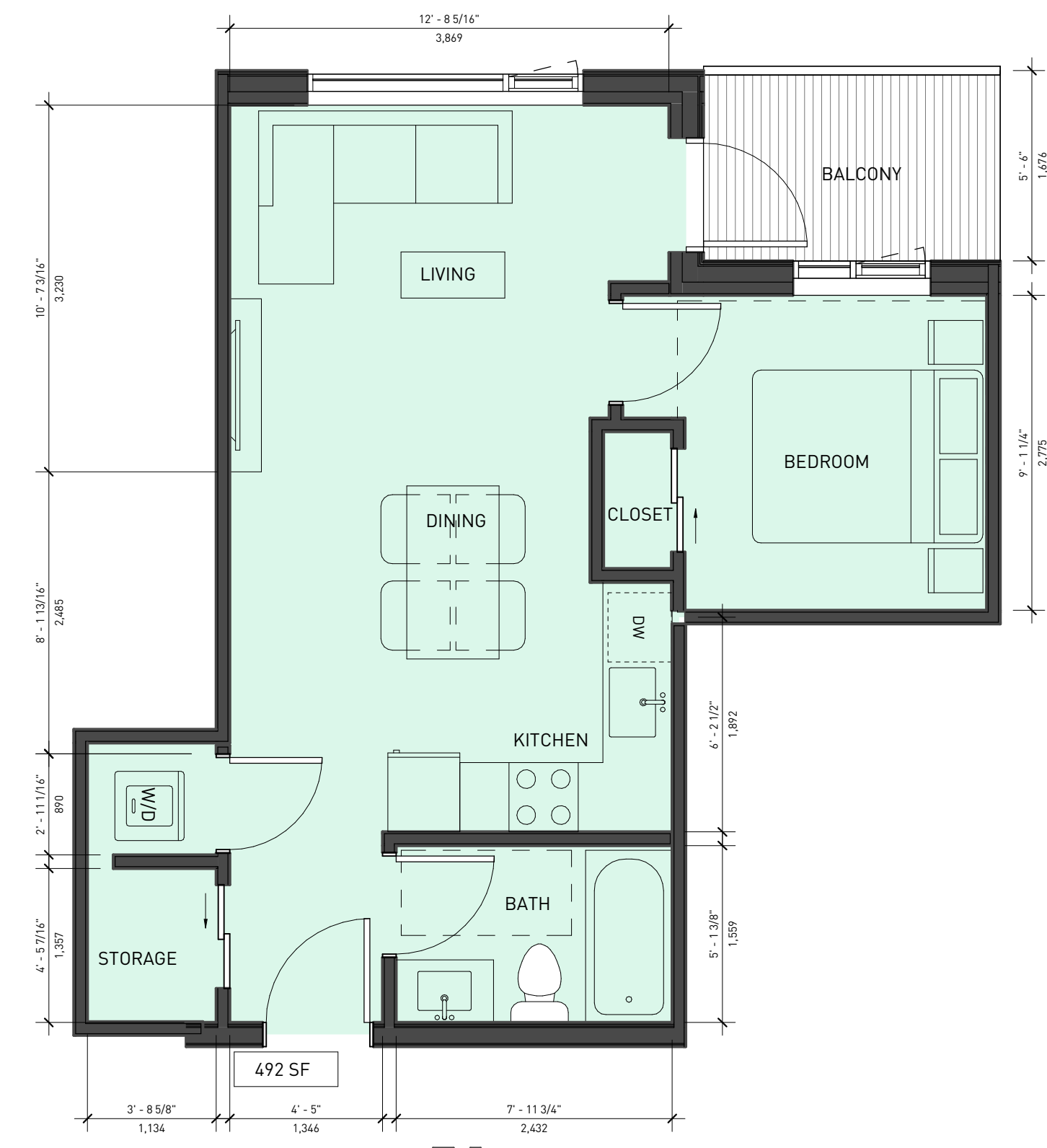
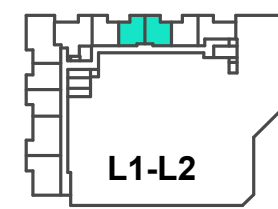
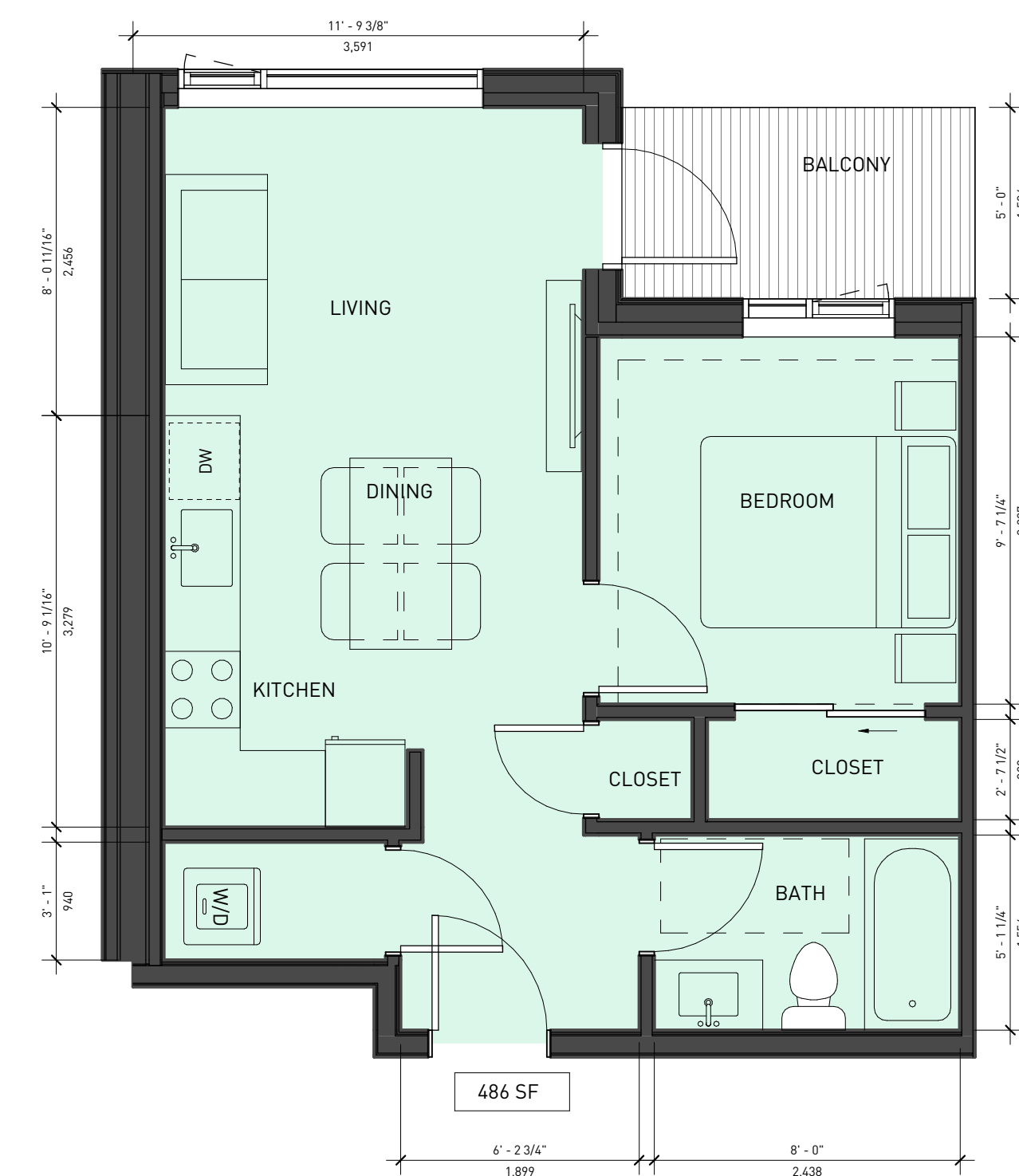
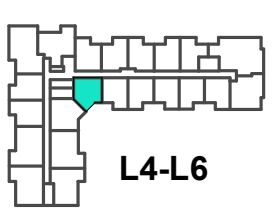
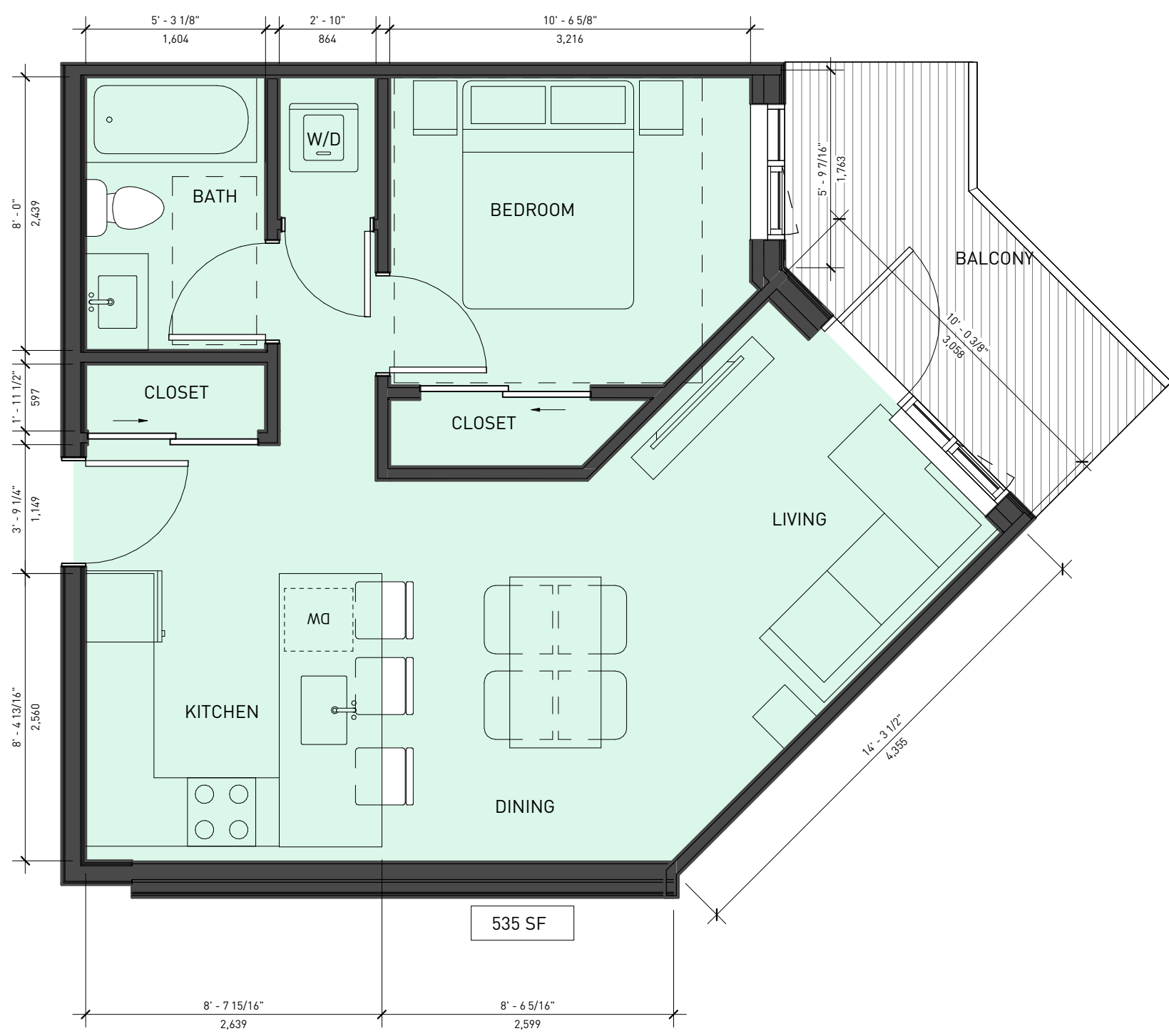
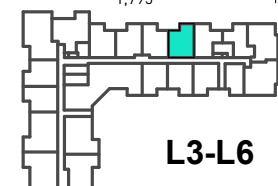
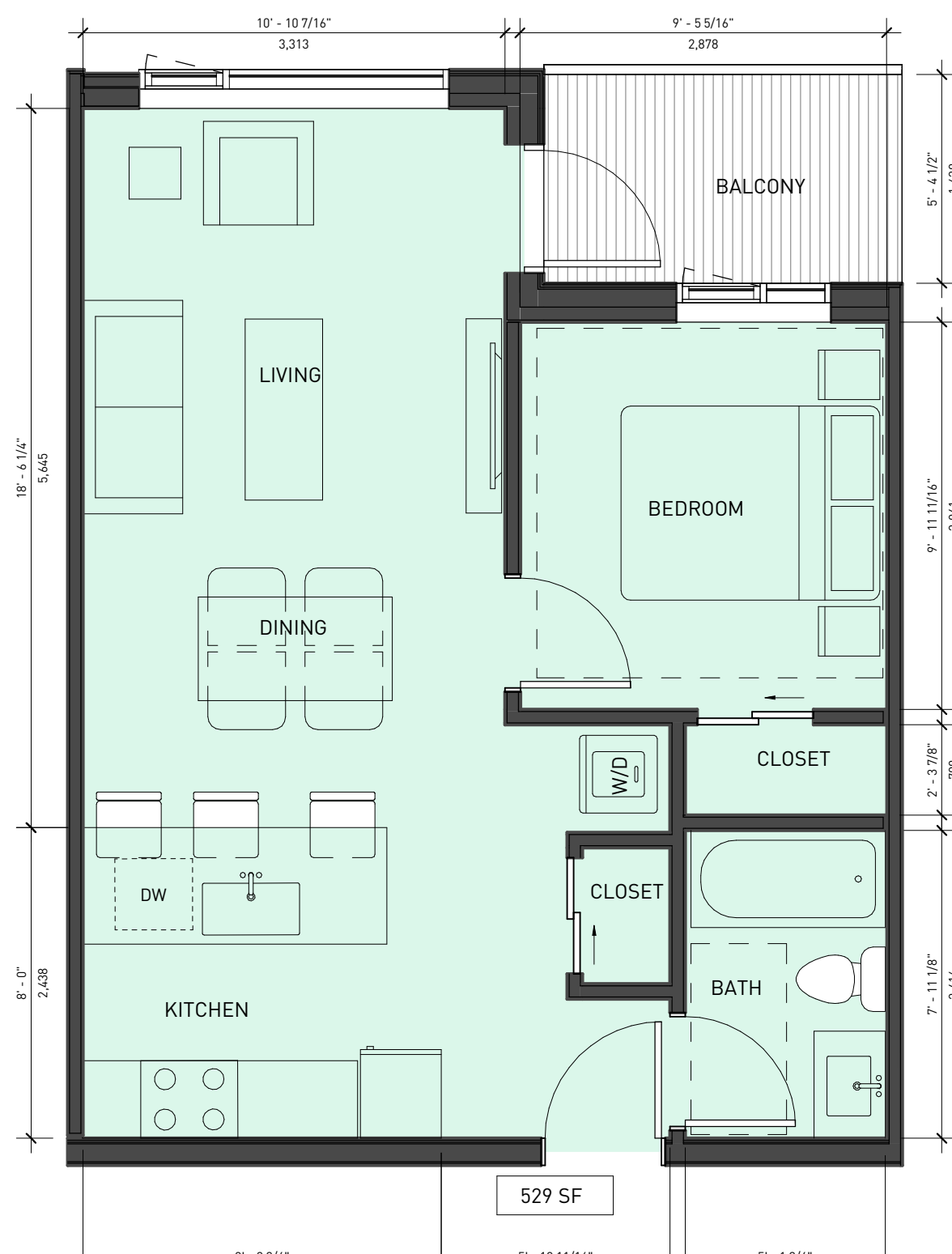
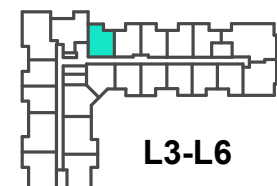
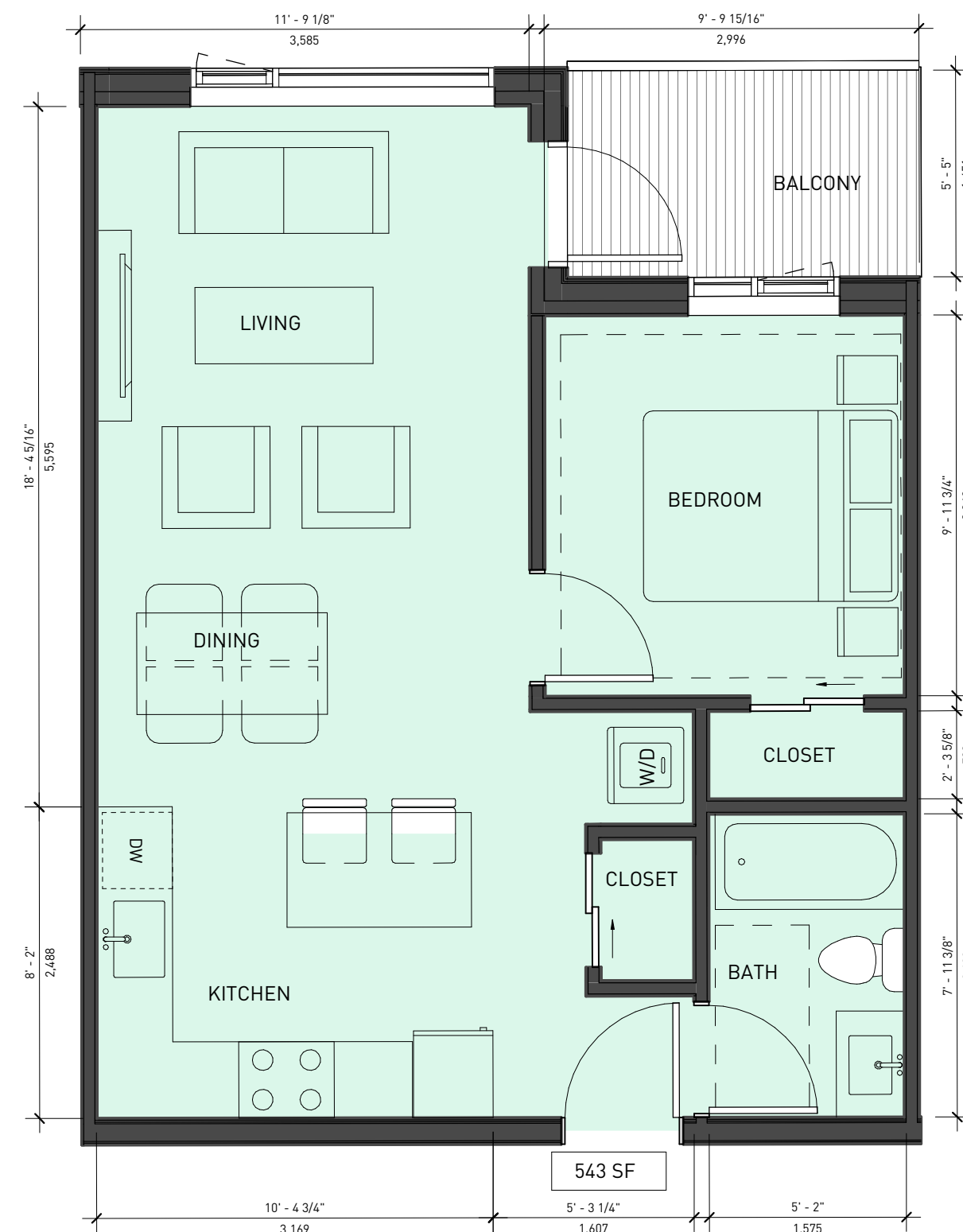
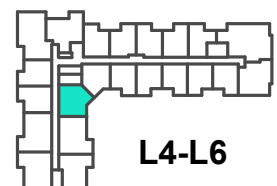
LOCATION  
VANCOUVER, BC

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DATE  
2024-03-18

SCALE  
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CONSULTANT

DEVELOPER



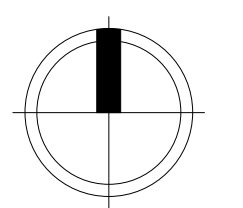
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NORTH



SEAL



PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
UNIT LAYOUTS C

LOCATION  
VANCOUVER, BC

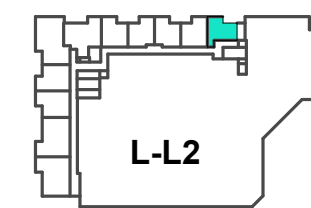
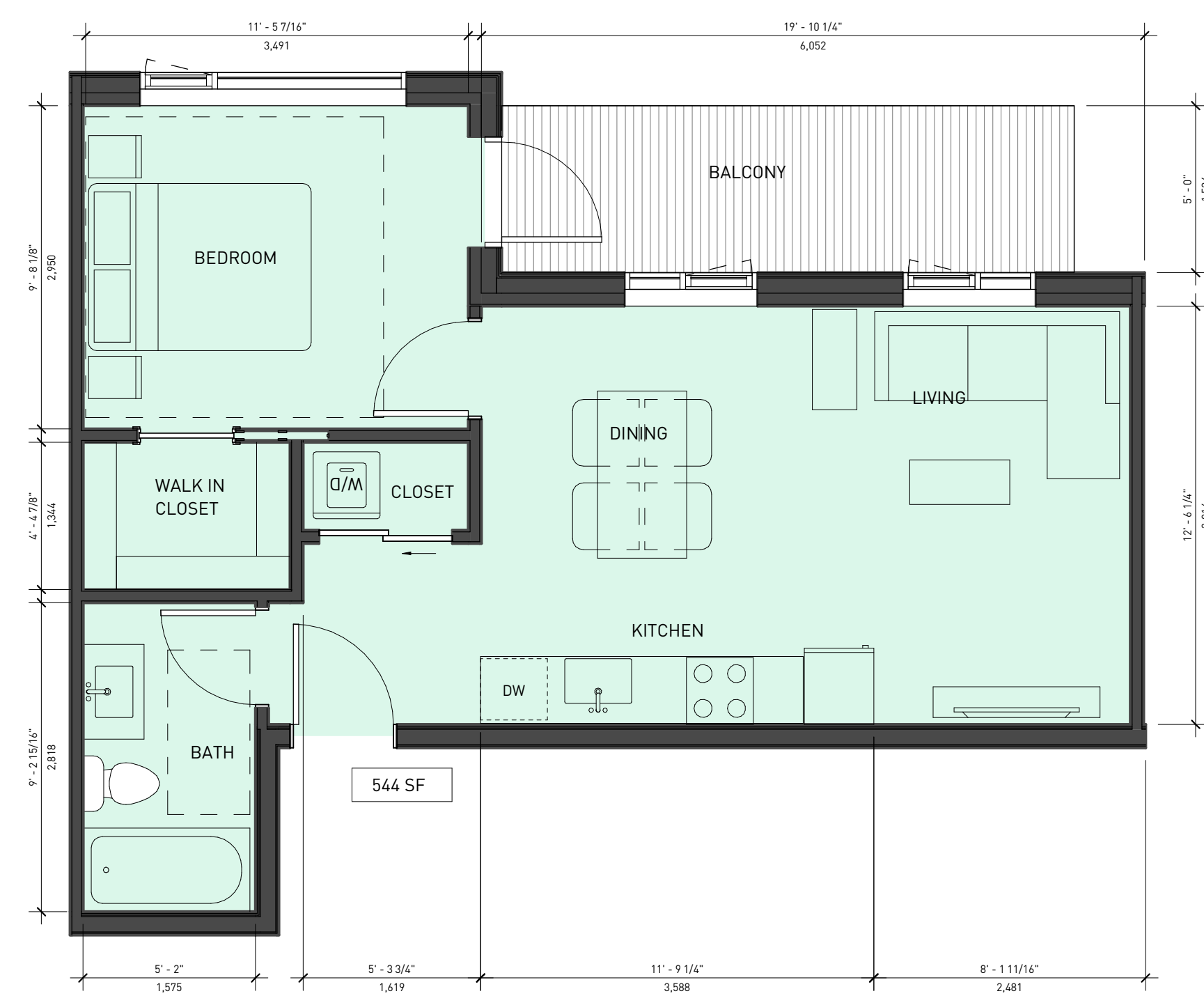
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DATE  
2024-03-18

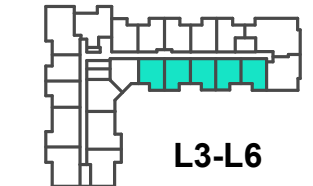
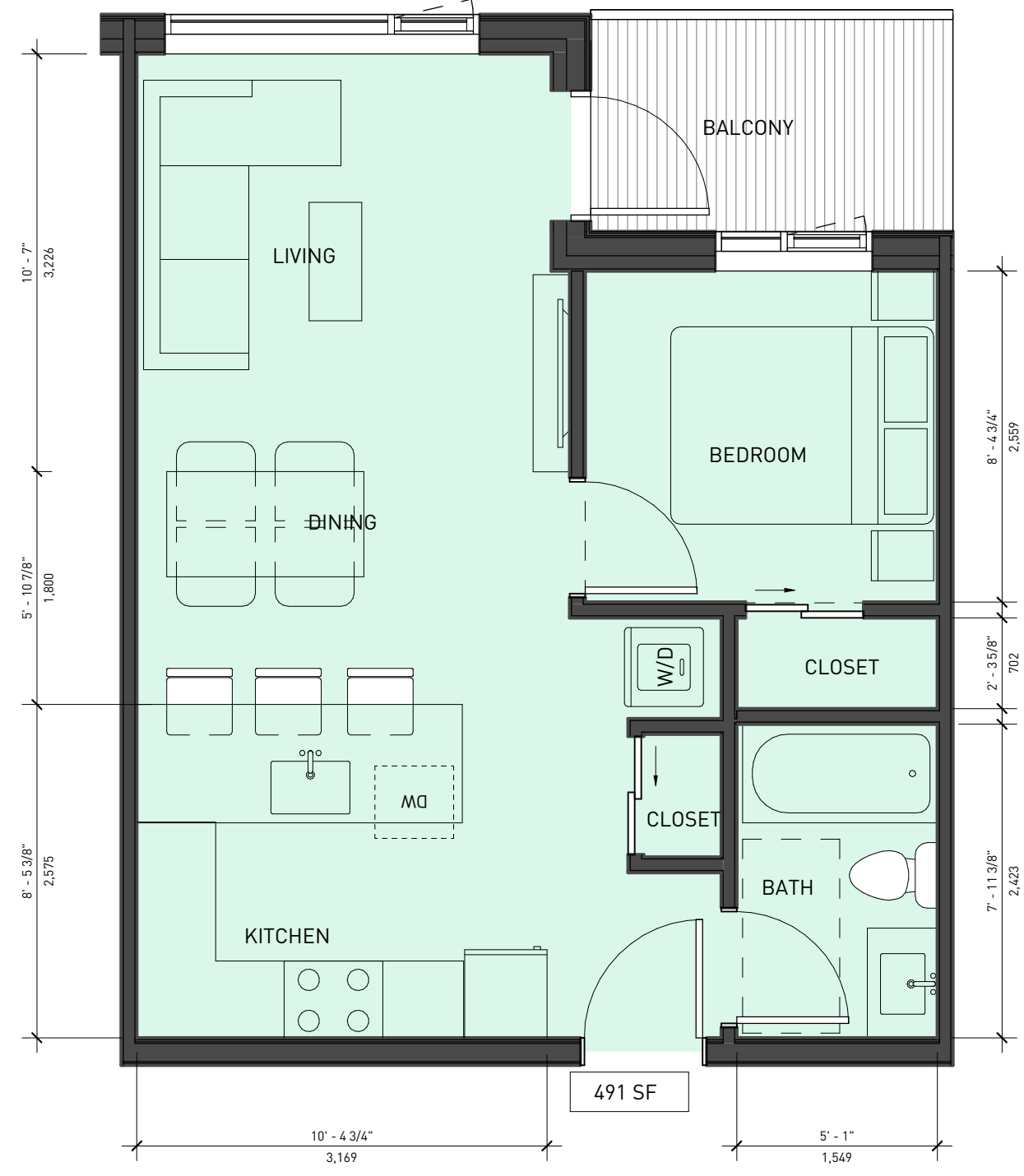
SCALE  
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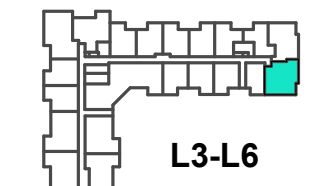
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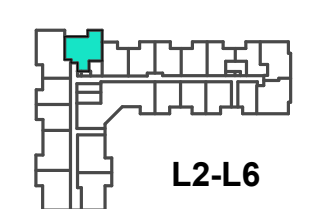
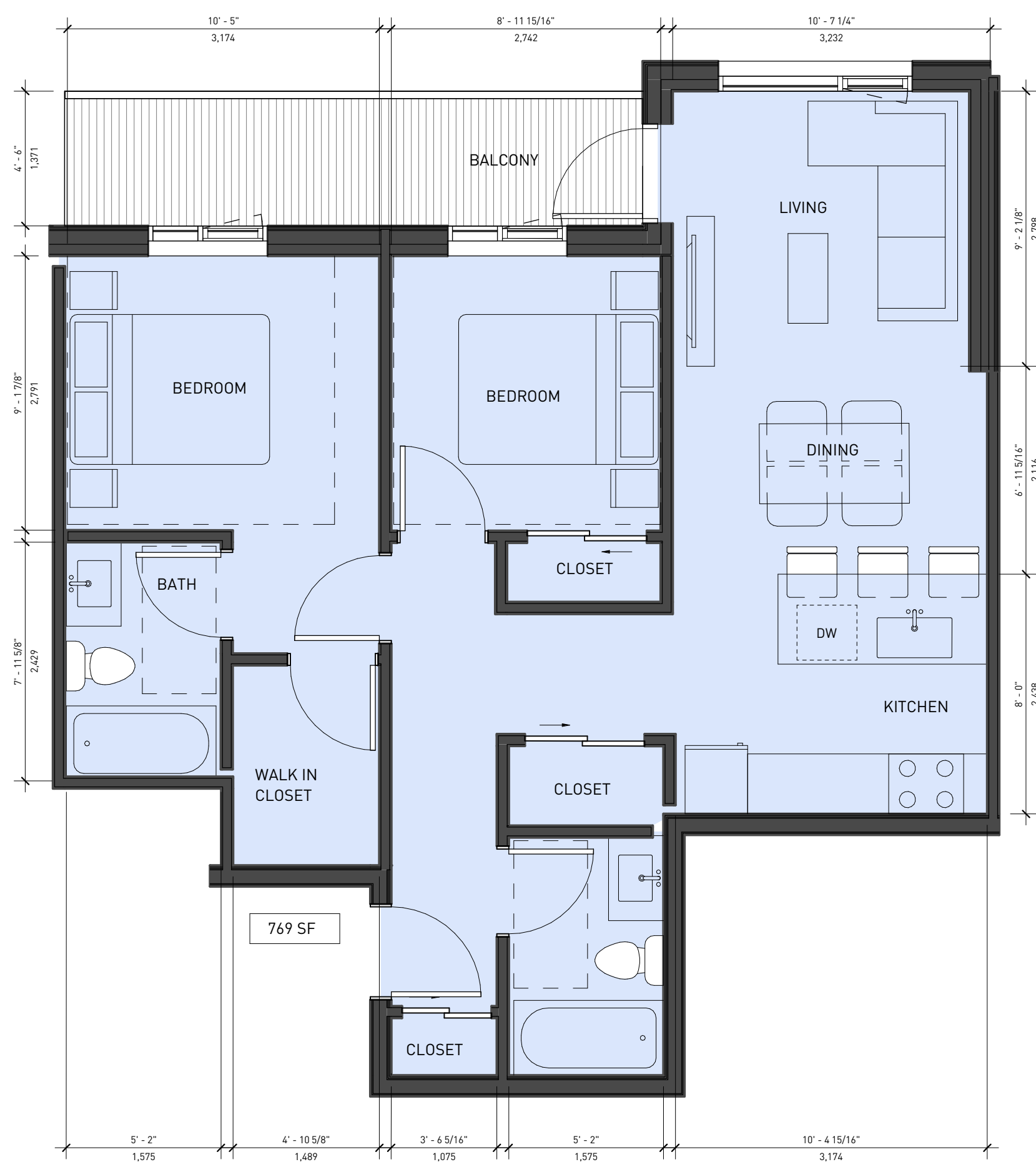
1 1-Bed - 12 (B12)  
1/4" = 1'-0"



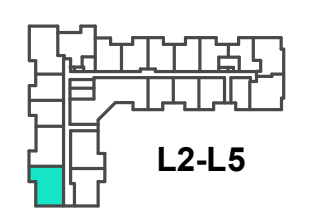
6 1-Bed - 13 (B13)  
1/4" = 1'-0"



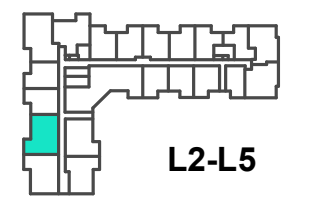
2 2-Bed - 1 (C01)  
1/4" = 1'-0"



3 2-Bed - 2 (C02)  
1/4" = 1'-0"



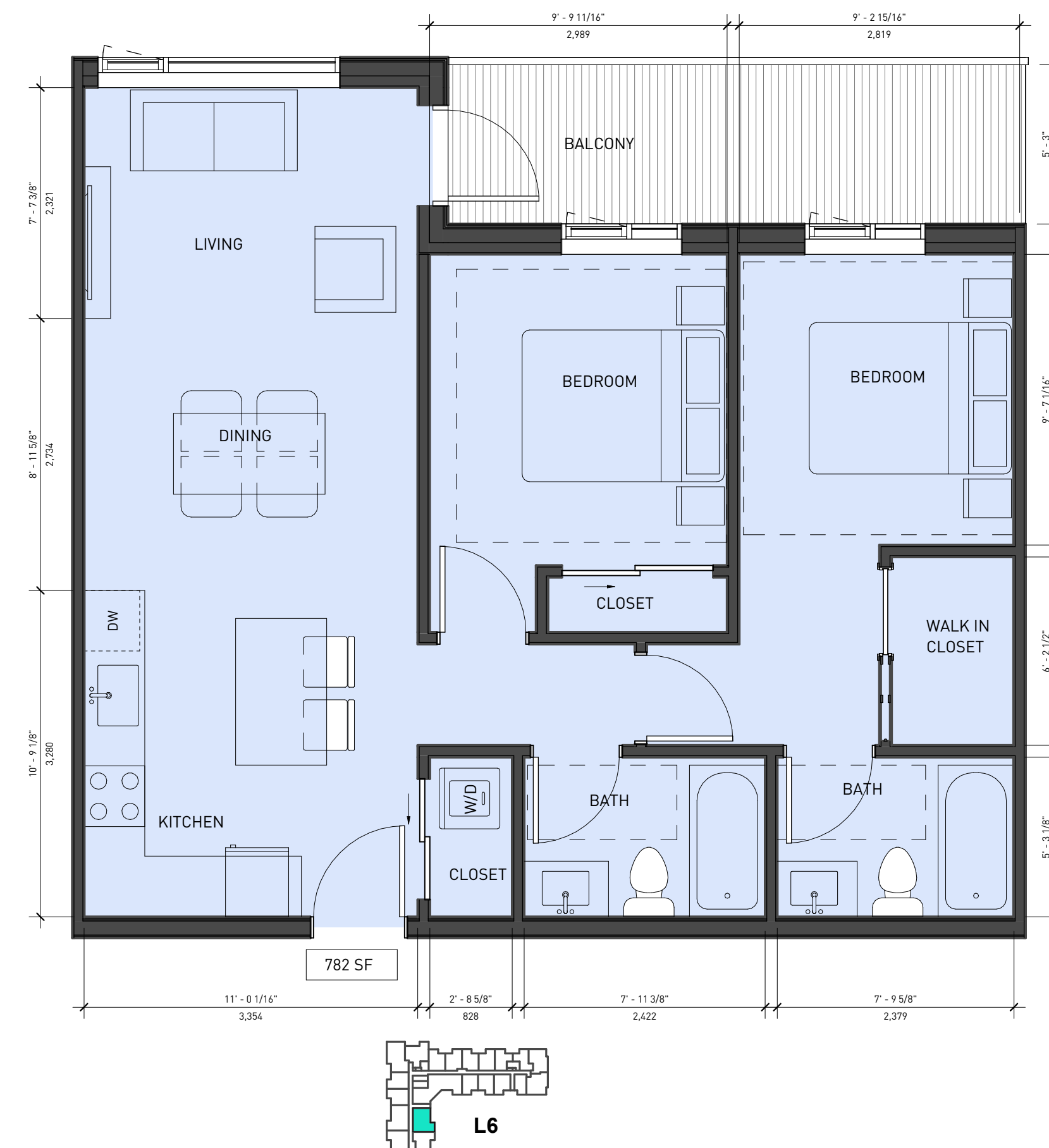
4 2-Bed - 3 (C03)  
1/4" = 1'-0"



5 2-BED - 3 (C03a)  
1/4" = 1'-0"



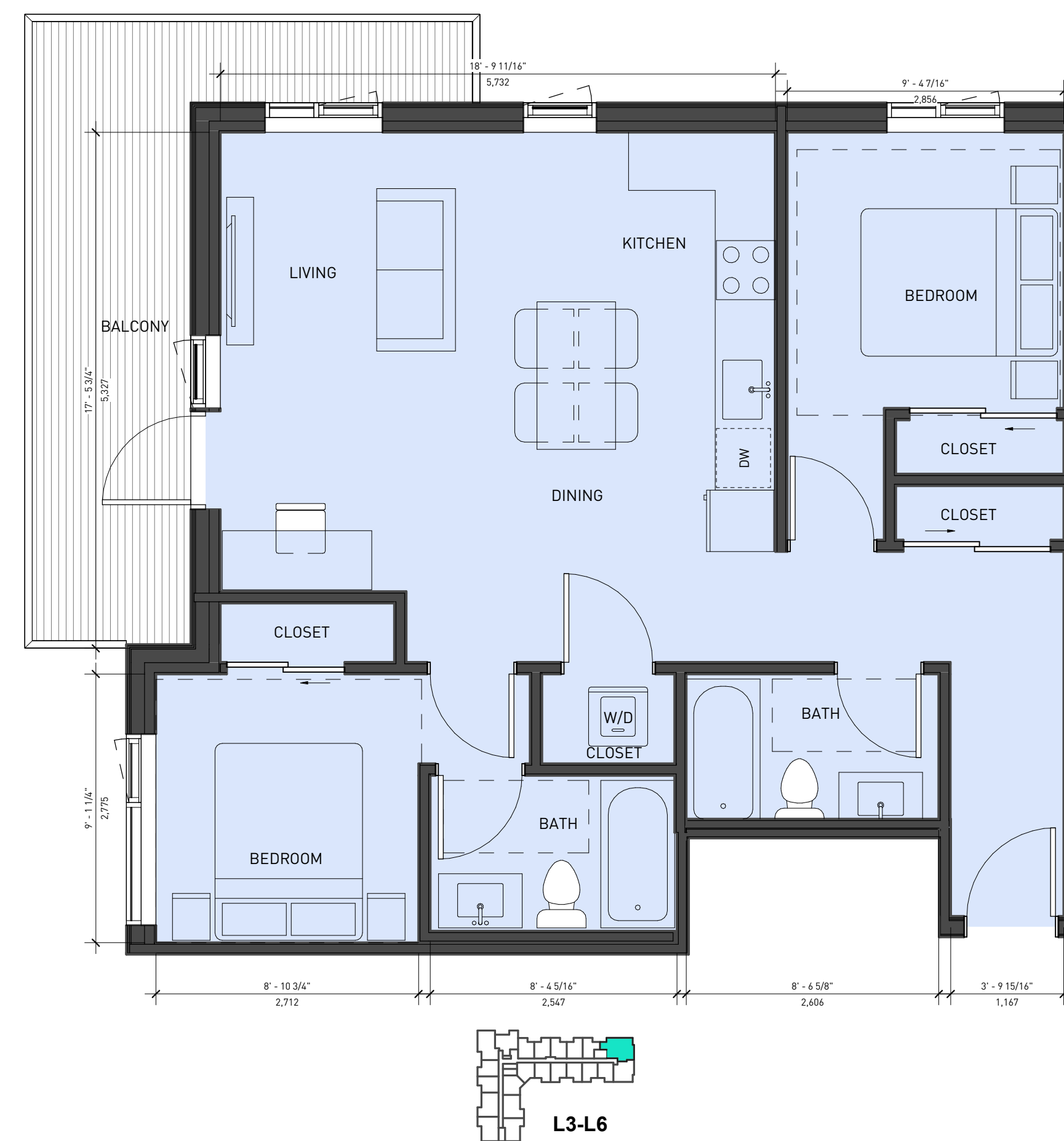
1 2-Bed - 4 (C 04)  
1/4" = 1'-0"



2 2-Bed - 5 (C 05)  
1/4" = 1'-0"



3 2-Bed - 6 (C 06)  
1/4" = 1'-0"



4 2-Bed - 7 (C 07)  
1/4" = 1'-0"

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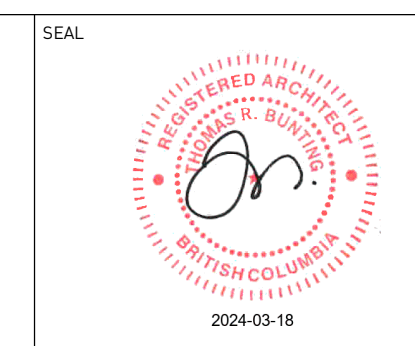
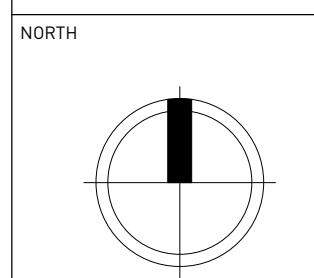
CONSULTANT  
  
DEVELOPER



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PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
UNIT LAYOUTS D

LOCATION  
VANCOUVER, BC

DRAWN BY  
IK

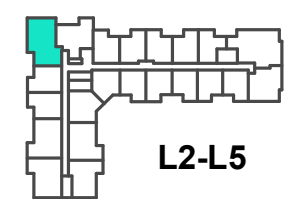
DATE  
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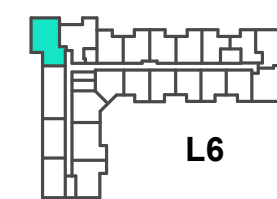
① 3-Bed - 1 (D 01)  
1/4" = 1'-0"



L2-L5



② 3-Bed - 1 (D 02)  
1/4" = 1'-0"



L6

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CONSULTANT

DEVELOPER



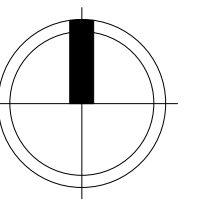
200-211 Columbia Street  
Vancouver, BC. V6A 2R5  
T 604 688 7582  
formosis.ca

Project Number: 2210

DRAWING ISSUED

01	ISSUED FOR RE-ZONING DP	2023-05-05
02	ISSUED FOR ENVIRONMENTAL DP	2023-11-24
03	RE-ISSUED FOR RE-ZONING DP	2024-03-18

NORTH



SEAL



PROJECT  
MIXED-USE RESIDENTIAL DEVELOPMENT  
3805 Lakeshore Rd, Kelowna, BC

DRAWING  
UNIT LAYOUTS E

LOCATION  
VANCOUVER, BC

DRAWN BY  
IK

DATE  
2024-03-18

SCALE  
As indicated

DWG No.

A505

# 3805 LAKESHORE ROAD DEVELOPMENT

## Issued for Development Permit

### Contact Information

#### VDZ+A

Project Landscape Architecture  
 Fort Langley Studio  
 102 - 9181 Church Street  
 Fort Langley, British Columbia, V1M 2R8

Mount Pleasant Studio  
 102-355 Kingsway  
 Vancouver, British Columbia, V5T 3J7

Kelowna Studio  
 302-1001 Manhattan Drive  
 Kelowna, British Columbia, V1Y 1H7

Primary project contact:  
 Kim McNamee  
 Landscape Architect  
 kim@vdz.ca  
 o.604-882-0024 Ext: 127

Alternate contacts (incase away):  
 Mark van der Zalm  
 Principal Landscape Architect  
 mark@vdz.ca  
 o. 604-835-2169

### Key Project Contacts

**Jim Pattison Developments**  
 Project Owner

200-879 Marine Drive  
 North Vancouver, BC  
 V7P 1R7

Mitch Cramp  
 cramp@jp-developments.com  
 o. 604 488 5280

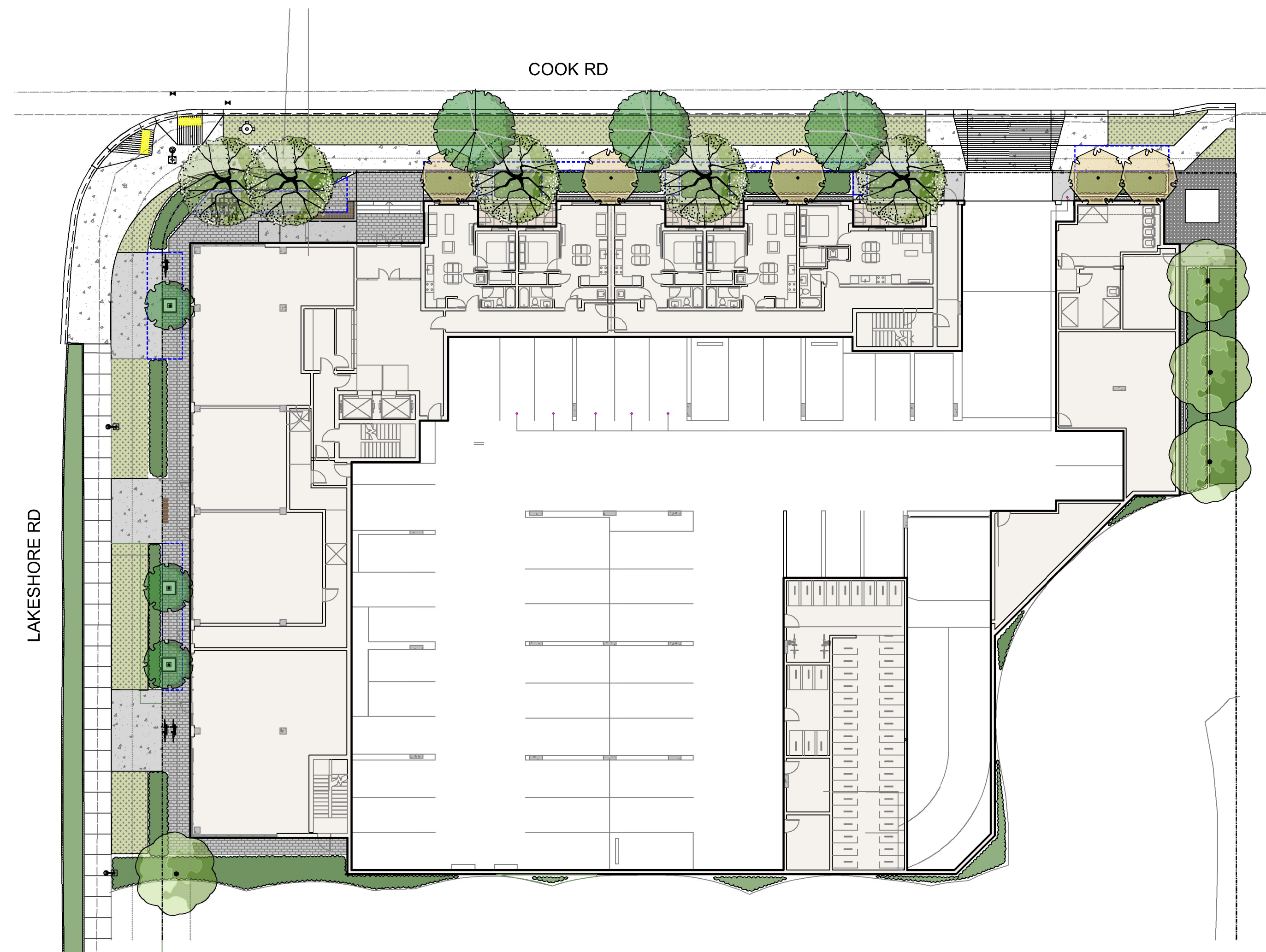
**Formosis Architecture**  
 Project Building Architecture

200-211 Columbia Street  
 Vancouver, BC  
 V6A 2R5

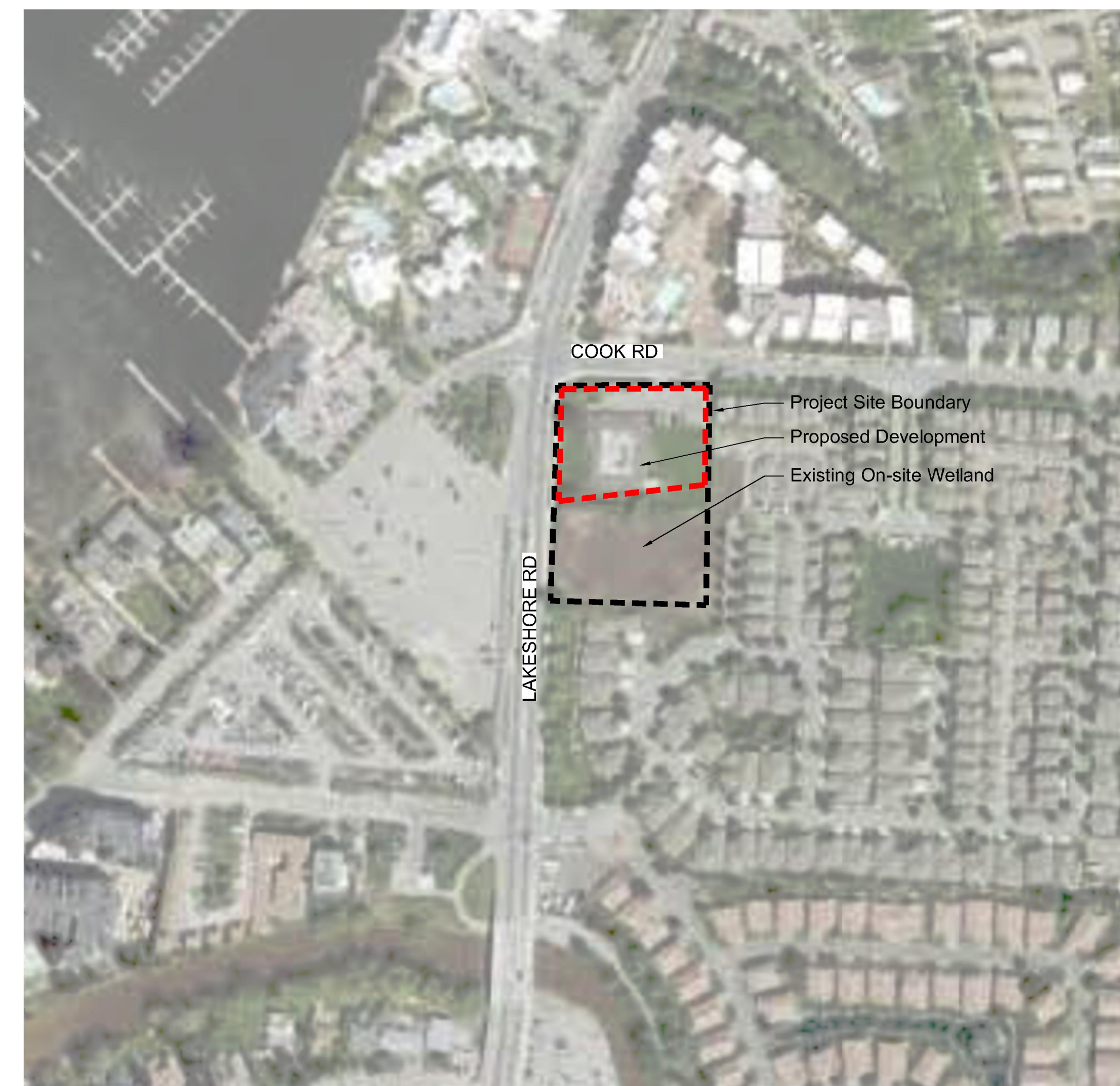
Ivan Katz  
 ikatz@formosis.ca  
 o. 236 326 3836

### Sheet List Table

Sheet Number	Sheet Title
L-01	COVER SHEET
L-02	OVERALL PLAN
L-03	L3 AMENITY LANDSCAPE PLAN
L-04	PLANTING PALETTE
L-05A	L1 LIGHTING PLAN
L-05B	L3 LIGHTING PLAN
L-06	L1 WATER CONSERVATION PLAN
L-07	L3 WATER CONSERVATION PLAN
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LD-05	DETAILS
LD-06	DETAILS



1 SITE PLAN OVERVIEW  
 Scale: 1:250



2 LOCATION MAP  
 NTS

No.	By:	Description	Date
5	KM	Issued for DP	2024-03-12
4	KM	Issued for DP	2023-11-01
3	KM	Issued for DP	2023-04-27
2	KM	Issued for DP	2023-03-15
1	AL	Issued for Arbotrist Report	2023-03-13

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No.	By:	Description	Date
2	KM	DP Update	2024-03-15
1	KM	Riparian Setback Update	2023-05-01

REVISIONS TABLE FOR SHEET

Project:  
 3805 LAKESHORE ROAD  
 DEVELOPMENT

Location:  
 3805 LAKESHORE ROAD  
 KELOWNA, B.C.

Drawn: AH LA	Stamp:
Checked: KM	
Approved: SH	
Scale: AS SHOWN	Original Sheet Size: 24"x36"

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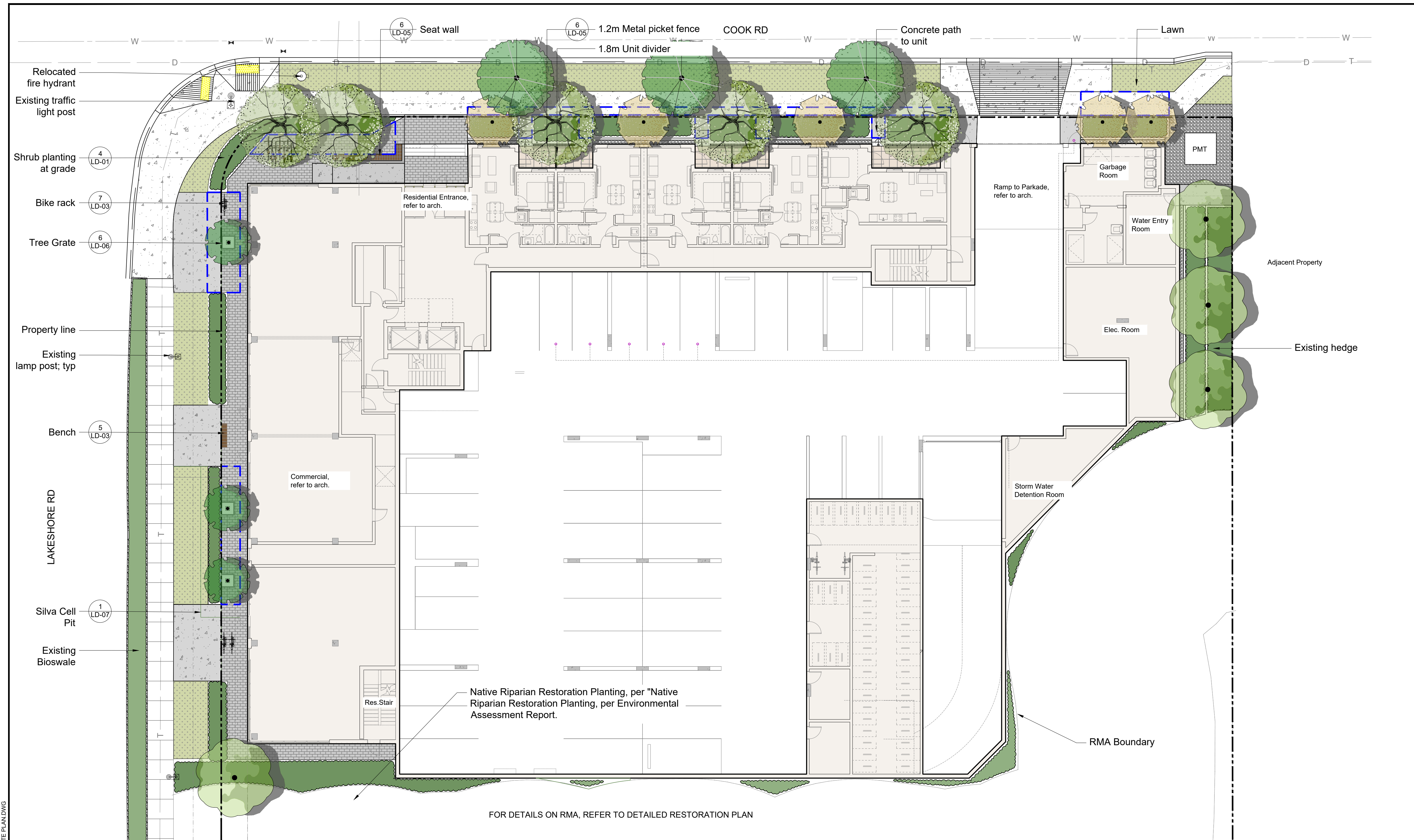
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Drawing Title:  
COVER PAGE



VDZ Project #:  
DP2022-76

Drawing #:  
L-01



No.	By:	Description	Date
5	KM	Issued for DP	2024-03-12
4	KM	Issued for DP	2023-11-01
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 DEVELOPMENT

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 Stamp:

Checked: KM

Approved: MVDZ  
 Original Sheet Size: 24"x36"

Scale: 1:150  
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**HARDSCAPE MATERIALS**

KEY	REF.	DESCRIPTION
	5,6,7 LD-01	CONCRETE PAVING
		CONCRETE SIDEWALK AND LETDOWN Refer to Civil
	1 LD-02	CONCRETE UNIT PAVERS
		EXISTING SIDEWALK
	4 LD-02	HYDRAPRESSED SLABS
	5,6 LD-02	DRIP STRIP

	2 LD-03	BIKE RACK
	6 LD-06	TREE GRATE

**SOFTSCAPE MATERIALS**

KEY	REF.	DESCRIPTION
	1,2 LD-01	PROPOSED TREE
	3,4 LD-01	SHRUB PLANTING
	1 LD-07	SILVA CELL PIT

**FENCING**

KEY	REF.	DESCRIPTION
	7 LD-05	1.2m METAL PICKET FENCE
		1.8m UNIT DIVIDER Refer to Architect

**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer rubrum 'Scarsen' / Scarlet Sentinel® Red Maple	B&B	5cm	1.5m std.	5
	Carpinus betulus 'Fastigiata' / Upright European Hornbeam	B&B	6cm	1.5m std.	3
	Fagus sylvatica / European Beech	B&B	6cm cal	1.5m std.	3
	Fraxinus americana 'Calypso' / Calypso White Ash	B&B	6cm	1.5m std.	4
	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B&B	4cm	1.5m std.	5



FOR DETAILS ON RMA, REFER TO DETAILED RESTORATION PLAN

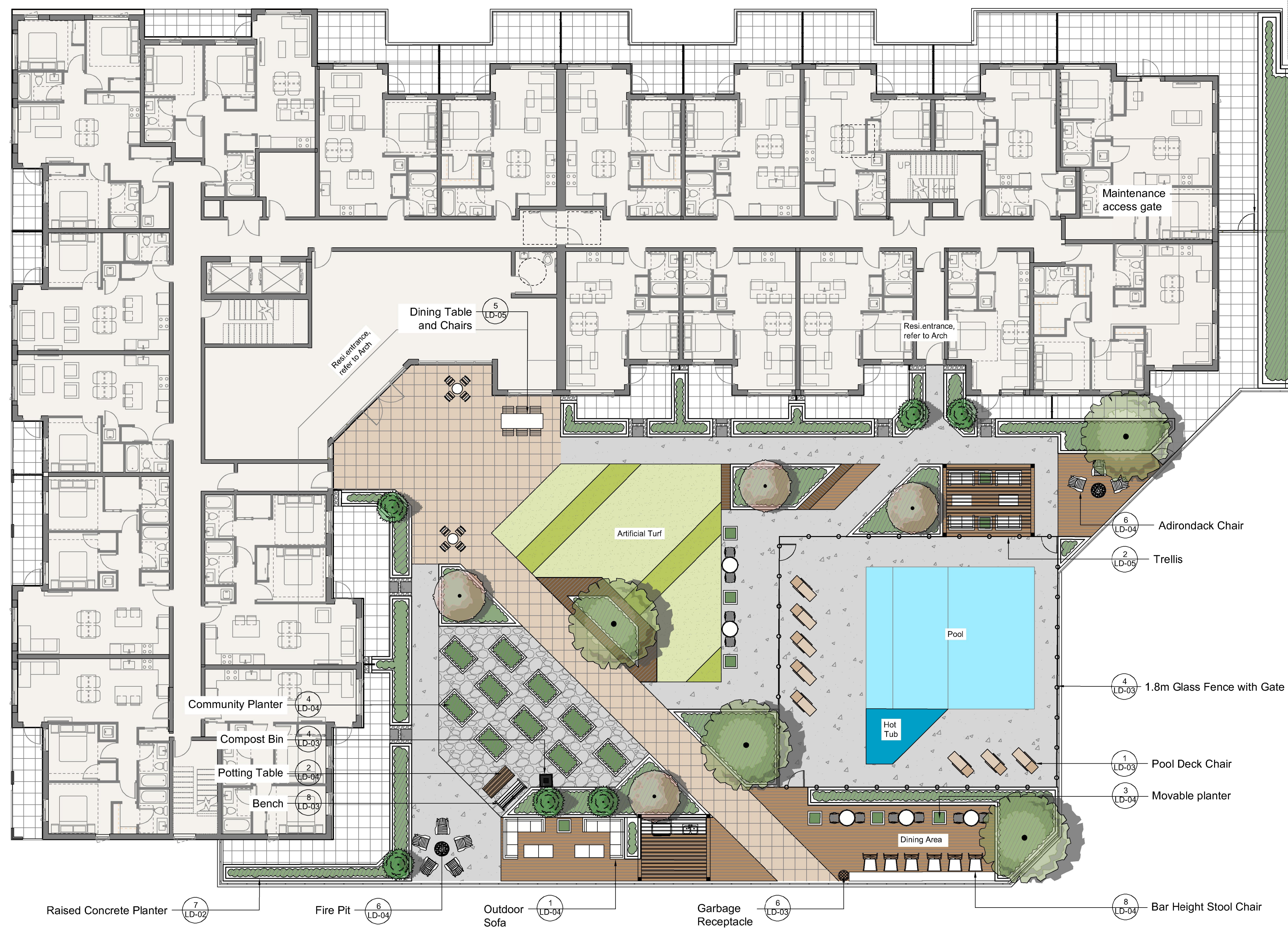
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Drawing Title: **OVERALL PLAN**



VDZ Project #: **DP2022-76**

Drawing #: **L-02**



### HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	5,6,7 LD-01	CONCRETE PAVING
	4 LD-02	HYDRAPRESSED SLABS Pattern: Stack Bond Colour: Natural
	1 LD-05	ARTIFICIAL TURF
	4 LD-02	PRIVATE PATIO
	6 LD-02	DECORATIVE ROCK
	1,2 LD-01	PROPOSED TREE Refer to tree schedule
	3,4 LD-01	PROPOSED SHRUB PLANTING AREAS Refer to sheet L-04 for schedule of selected plant material

### FENCING AND WALL LEGEND

KEY	REF.	DESCRIPTION
	3 LD-05	1.8m GLASS FENCE WITH GATE
		1.8m UNIT DIVIDER Refer to Architect

### FURNITURE LEGEND

KEY	REF.	DESCRIPTION
	8 LD-04	BAR HEIGHT STOOL CHAIR Manufacturer: MAGLIN Model: MCH-1700-00005 Colour: Silver (matte finish)
	1 LD-04	OUTDOOR SOFA Manufacturer: Sudden Fun Model: Nexus Woven Lounge Seating Colour: Rosewood Weave
	4 LD-05	ADIRONDACK CHAIR
	2 LD-03	TABLE WITH CHAIRS Manufacturer: Landscape Forms Model: Catena Series Colour: Silver (matte finish)
	1 LD-03	POOL DECK CHAIR
	3 LD-04	MOVABLE planter
	6 LD-03	GARBAGE RECEPTACLE
	6 LD-04	FIRE PIT
	1 LD-03	POOL DECK CHAIR
	5 LD-05	DINING TABLE AND CHAIRS
	4 LD-03	COMPOST BIN

No.	By:	Description	Date
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2	KM	Issued for DP	2023-03-15
1	AL	Issued for Arborist Report	2023-03-13

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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:  
3805 LAKESHORE ROAD  
DEVELOPMENT

Location:  
3805 LAKESHORE ROAD  
KELOWNA, B.C.

Drawn: AH LA	Stamp:
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Checked: KM	
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Approved: MVDZ	Original Sheet Size: 24"x36"
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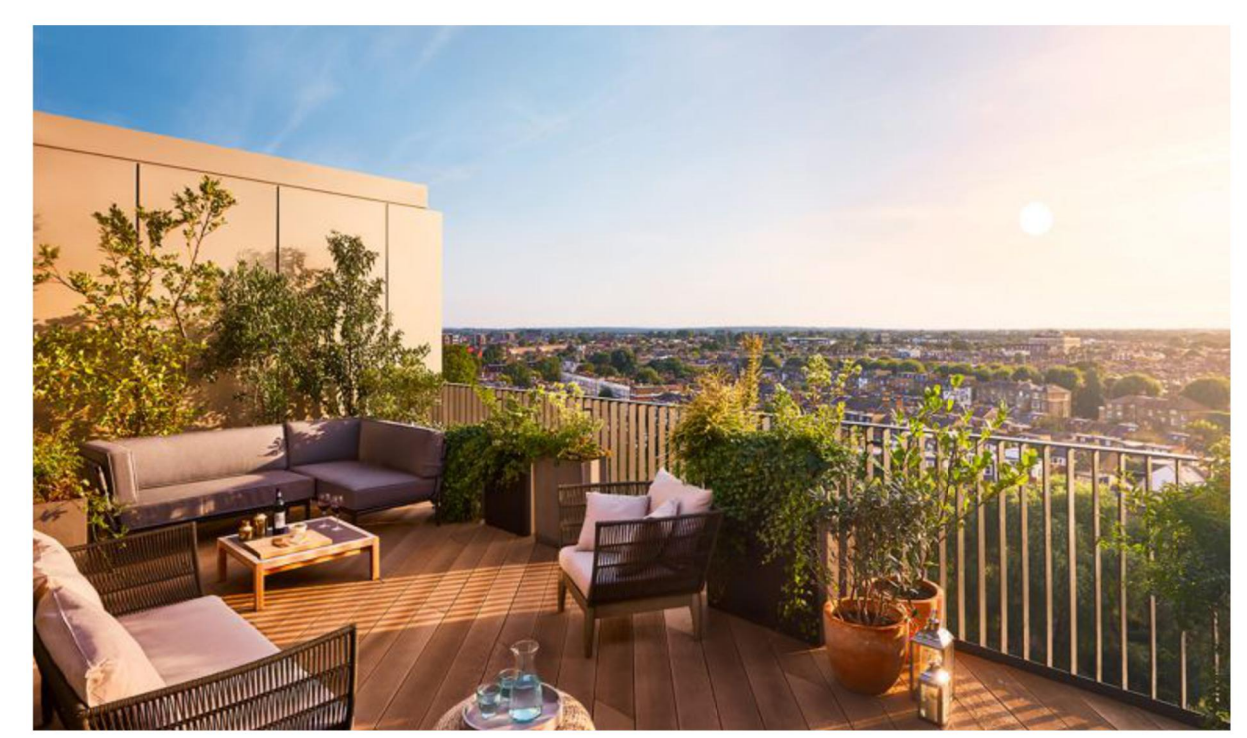
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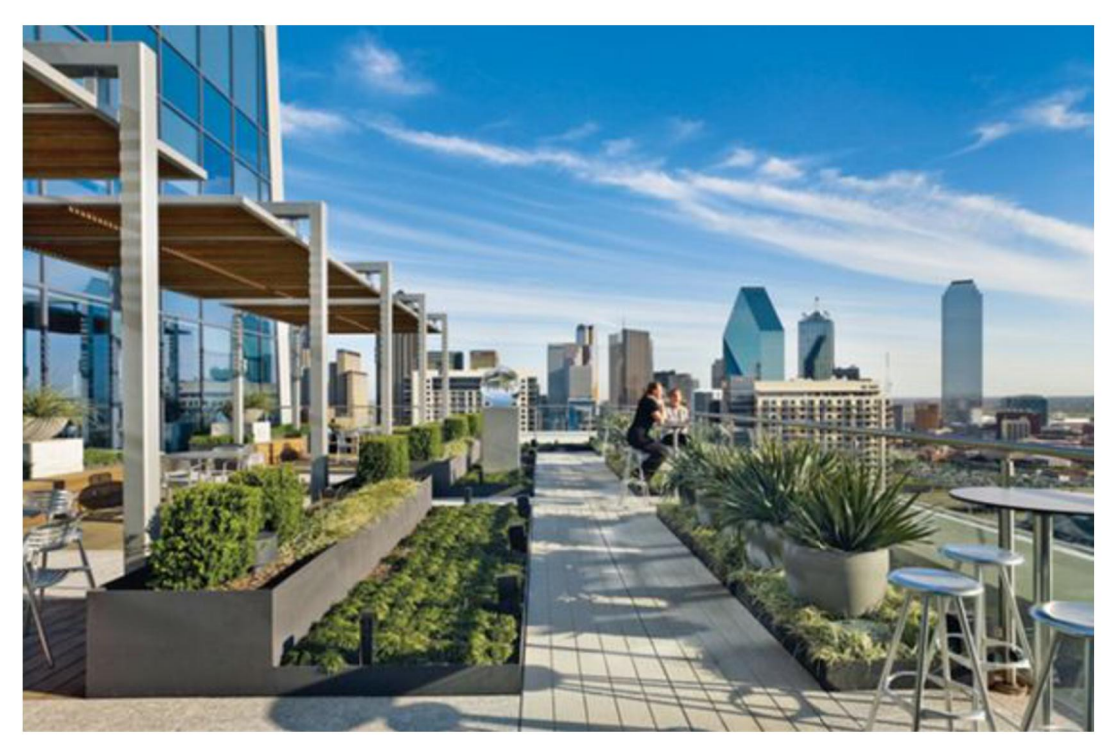
### CONCEPT MATERIALS & PRECEDENTS



Planter with seat wall



Outdoor sofa



Bar height seating area

### PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Acer griseum / Paperbark Maple	#15 pot	4 cm cal.	4
	Chamaecyparis obtusa / Hinoki False Cypress	#20 pot	1.5m ht.	6
	Magnolia x soulangeana 'Susan' / Susan Magnolia	#15 pot	4 cm cal.	4



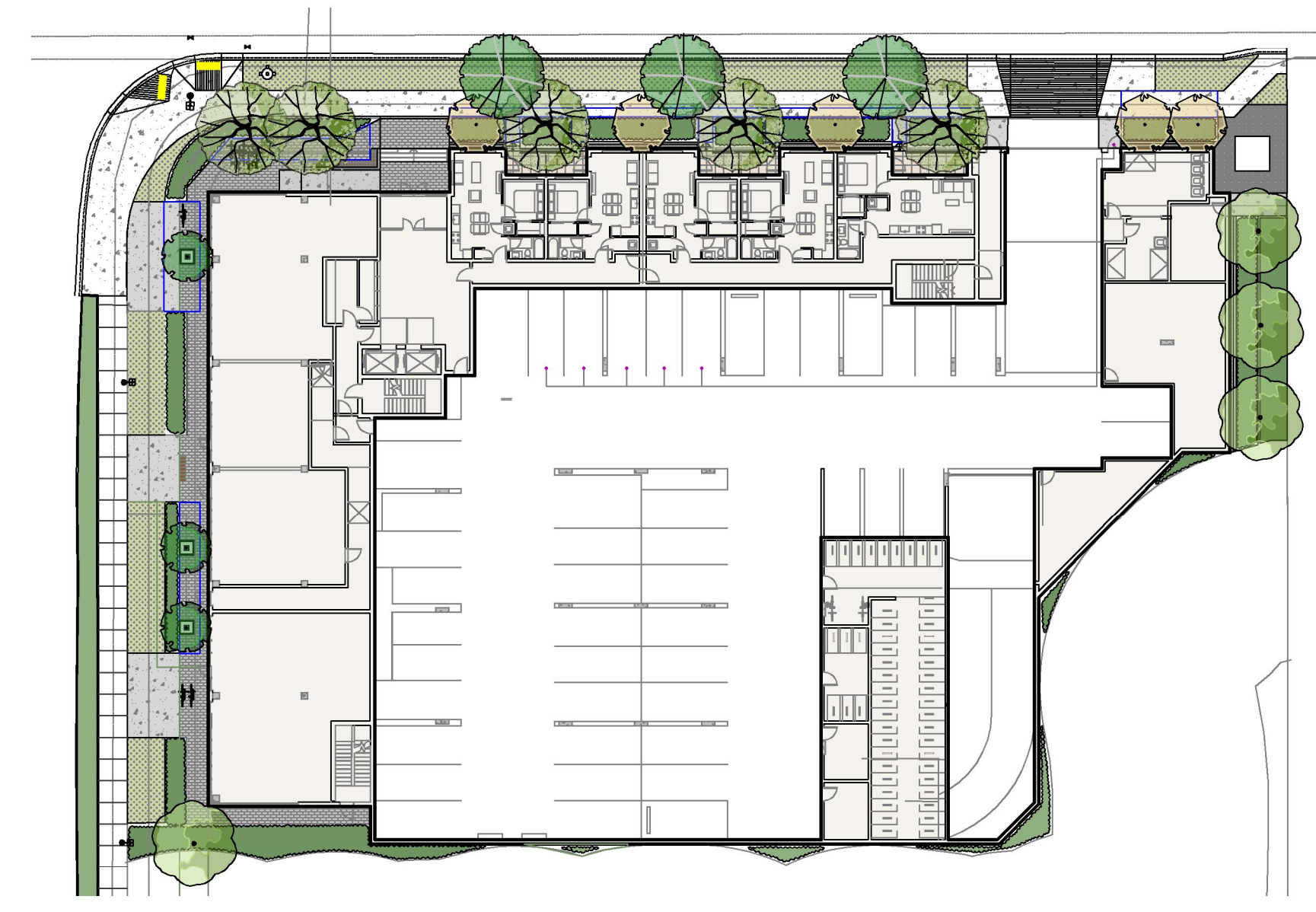
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Drawing Title:  
L3 AMENITY LANDSCAPE PLAN



VDZ Project #:  
DP2022-76

Drawing #:  
L-03



**1** LANDSCAPE SITE PLAN  
 Scale 1:400

**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
<b>TREES</b>					
	Acer rubrum 'Scarsen' / Scarlet Sentinel® Red Maple	B&B	5cm	1.5m std.	5
	Carpinus betulus 'Fastigiata' / Upright European Hornbeam	B&B	6cm	1.5m std.	3
	Fagus sylvatica / European Beech	B&B	6cm cal	1.5m std.	3
	Fraxinus americana 'Calypso' / Calypso White Ash	B&B	6cm	1.5m std.	4
	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B&B	4cm	1.5m std.	5

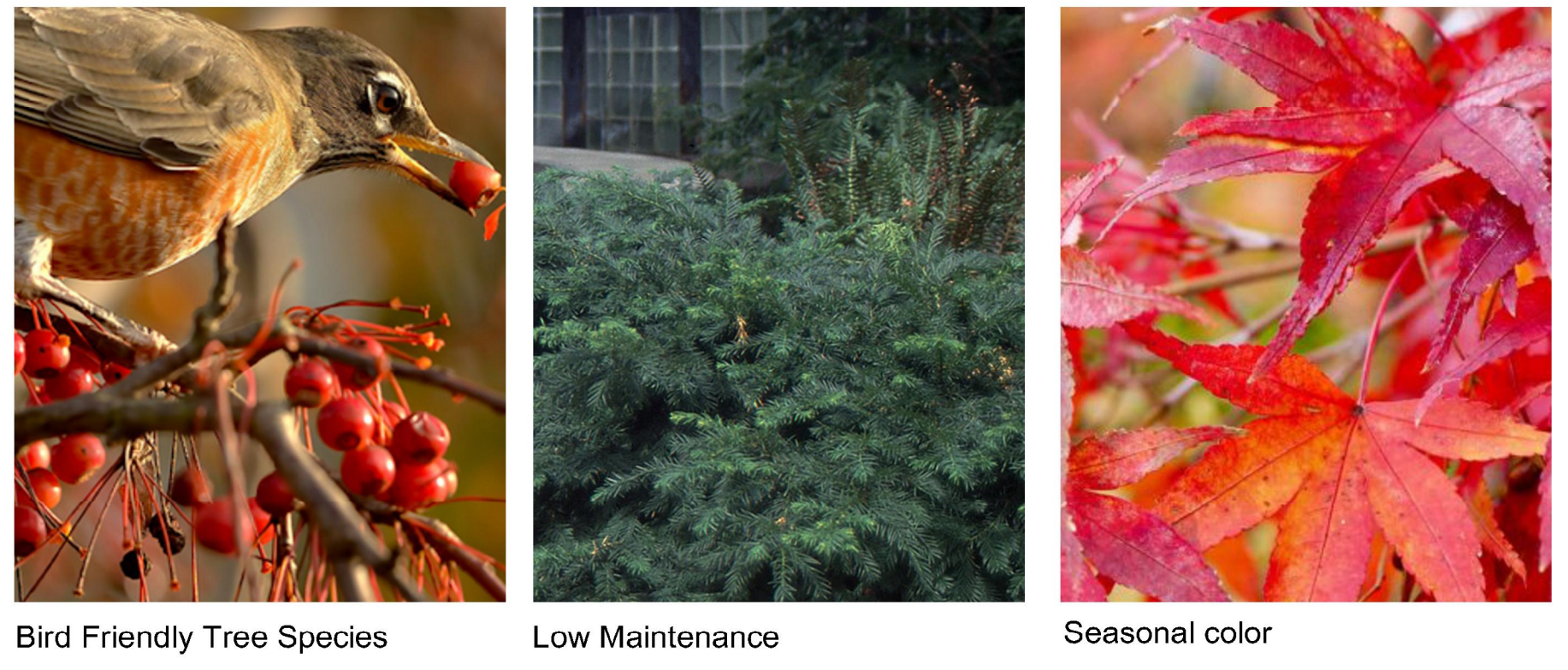
**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
<b>TREES</b>				
	Acer griseum / Paperbark Maple	#15 pot	4 cm cal.	4
	Chamaecyparis obtusa / Hinoki False Cypress	#20 pot	1.5m ht.	6
	Magnolia x soulangeana 'Susan' / Susan Magnolia	#15 pot	4 cm cal.	4

**PLANT SCHEDULE**

SHRUBS	BOTANICAL / COMMON NAME	CONT
B	Buxus microphylla japonica 'Winter Gem' / Winter Gem Japanese Boxwood	#2
Bc	Mahonia aquifolium / Common Barberry	#3
N	Nepeta x faassenii 'Walker's Low' / Walker's Low Catmint	#2
Ph	Physocarpus opulifolius 'Tiny Wine' / 'Tiny Wine' Ninebark	#2
Ro	Rosa nutkana / Nootka Rose	#3
Sm	Spiraea japonica 'Magic Carpet' / Magic Carpet Spirea	#2
Th	Taxus x media 'Hicksii' / Hicks Yew	1.2m ht.
Mo	Mock-orange / Philadelphus lewisii	1.2m ht.
<b>DWARF CONIFERS</b>		
Pp	Pinus mugo 'Pumilio' / Mugo Pine	#3
<b>GRASSES</b>		
Ci	Carex morrowii 'Ice Dance' / Ice Dance Japanese Sedge	#1
Im	Imperata cylindrica 'Rubra' / Japanese Blood Grass	#2
Pe	Pennisetum orientale 'Karley Rose' / Karley Rose Fountain Grass	#1

**COLOUR PALETTE**  
 Chartreuse | Pinks | Yellows



**PRECEDENT IMAGES**



No.	By:	Description	Date
5	KM	Issued for DP	2024-03-12
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3	KM	Issued for DP	2023-04-27
2	KM	Issued for DP	2023-03-15
1	AL	Issued for Arborist Report	2023-03-13

**REVISIONS TABLE FOR DRAWINGS**

No.	By:	Description	Date
2	KM	DP Update	2024-03-15
1	KM	Riparian Setback Update	2023-05-01

**REVISIONS TABLE FOR SHEET**

Project:  
 3805 LAKESHORE ROAD  
 DEVELOPMENT

Location:  
 3805 LAKESHORE ROAD  
 KELOWNA, B.C.

Drawn: AH	Stamp:
Checked: KW	
Approved: MVDZ	
Scale: AS SHOWN	Original Sheet Size: 24"x36"

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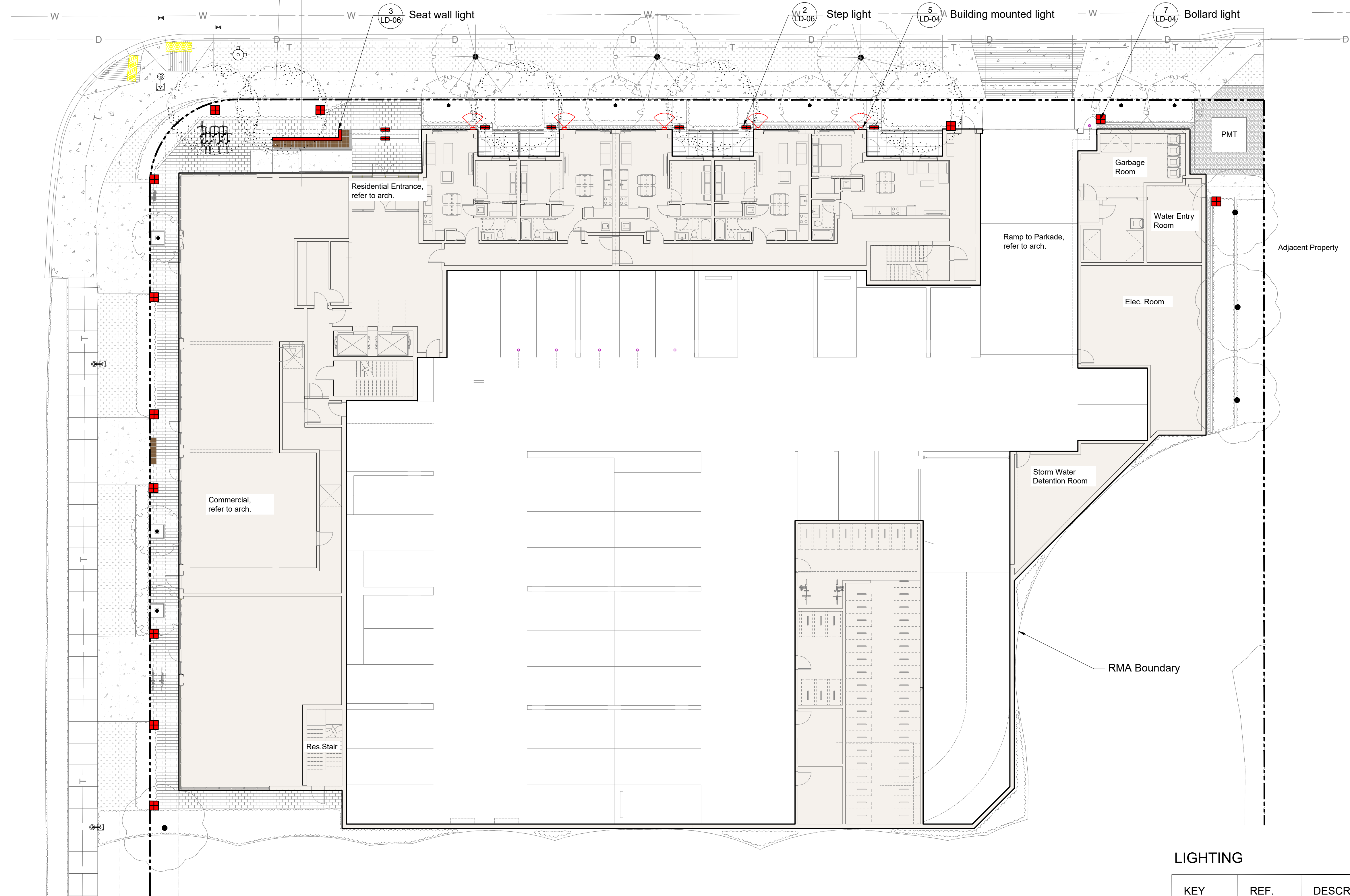
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Drawing Title:  
**PLANTING PALETTE**



VDZ Project #:  
**DP2022-76**

Drawing #:  
**L-04**



No.	By:	Description	Date
5	KM	Issued for DP	2024-03-12
4	KM	Issued for DP	2023-11-01
3	KM	Issued for DP	2023-04-27
2	KM	Issued for DP	2023-03-15
1	AL	Issued for Arborist Report	2023-03-13

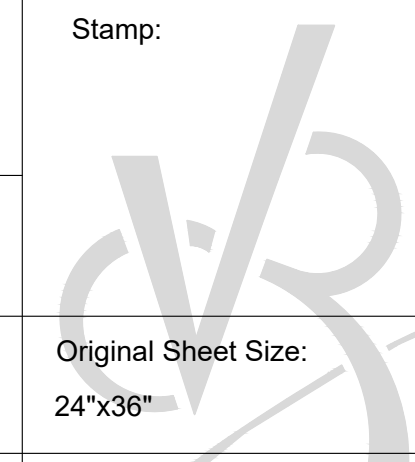
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No.	By:	Description	Date
1	KM	Riparian Setback Update	2023-05-01

REVISIONS TABLE FOR SHEET

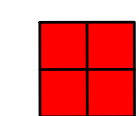
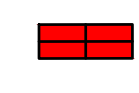


Project:  
 3805 LAKESHORE ROAD  
 DEVELOPMENT

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**LIGHTING**

KEY	REF.	DESCRIPTION
	7 LD-04	BOLLARD LIGHT
	2 LD-06	STEP LIGHT
	5 LD-04	BUILDING MOUNTED LIGHT
	3 LD-06	SEAT WALL LIGHT

Note:  
 Lighting Fixture selection to be coordinated with Electrical.

Precedent Images



Bollard light



Building mounted light



Seat wall light



Step light



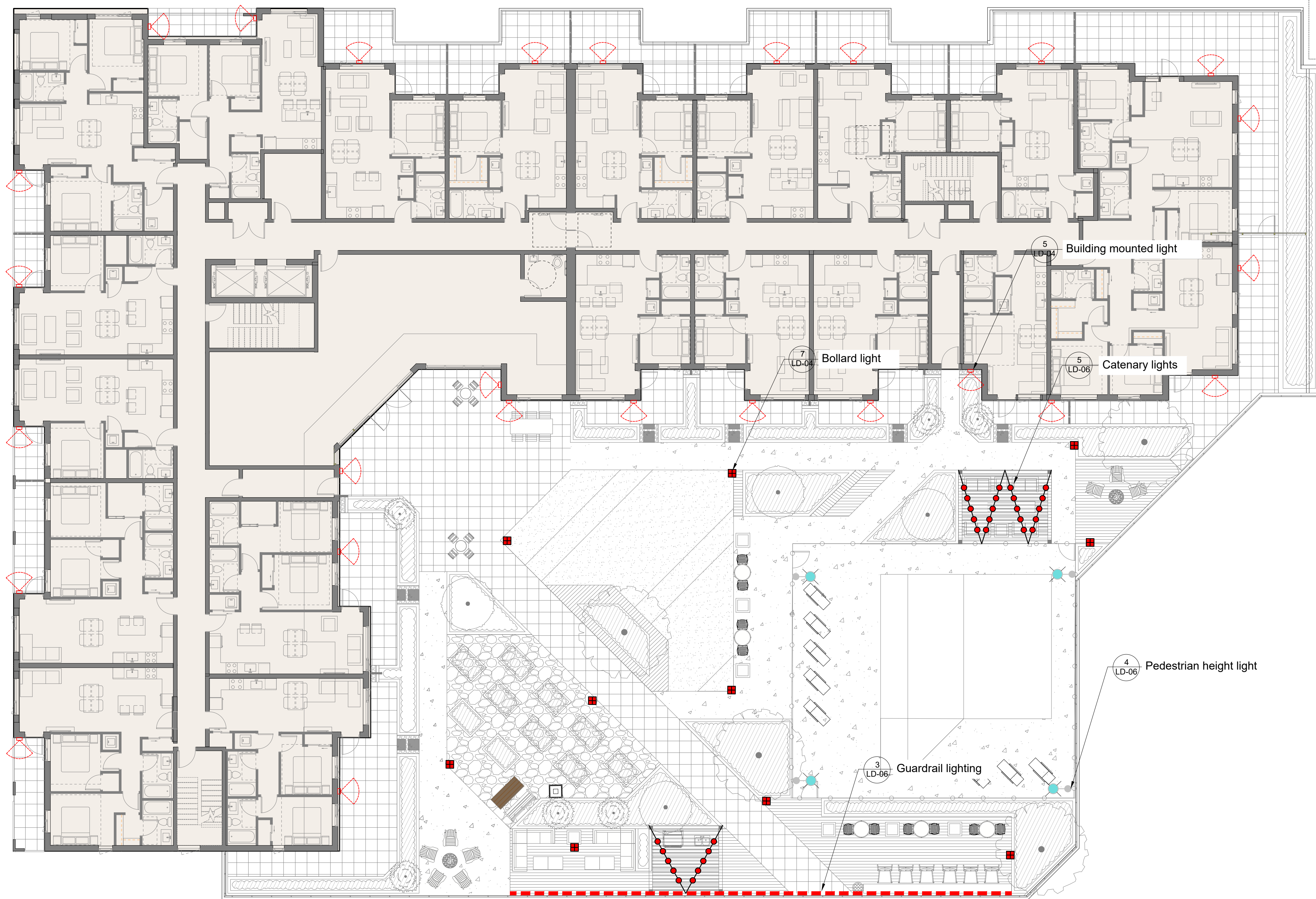
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Drawing Title:  
**L1 LIGHTING PLAN**



VDZ Project #:  
**DP2022-76**

Drawing #:  
**L-05A**



**LIGHTING**

KEY	REF.	DESCRIPTION
	5 LD-06	CATENARY LIGHTS
	5 LD-04	BUILDING MOUNTED LIGHT
	3 LD-06	GUARDRAIL LIGHTING
	4 LD-06	PEDESTRIAN HEIGHT LIGHT STANDARD
	7 LD-04	BOLLARD LIGHT

Note:  
 Lighting Fixture selection to be coordinated with Electrical.

No.	By:	Description	Date
5	KM	Issued for DP	2024-03-12
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**Precedent Images**



Wall light



Pedestrian height light



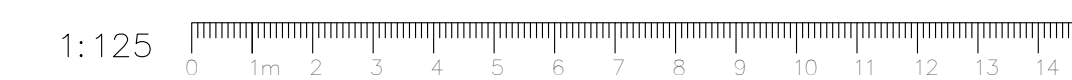
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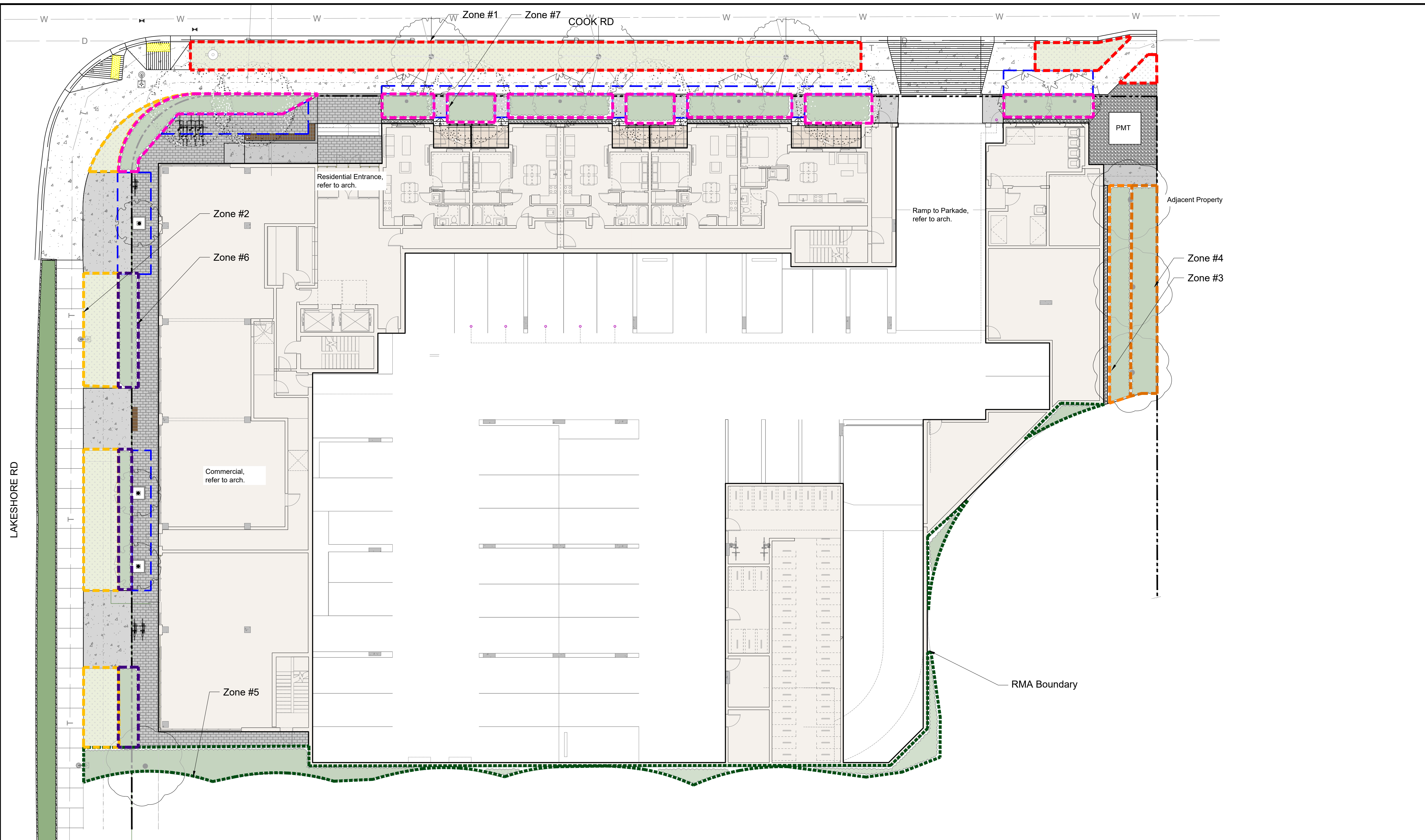


Guardrail lighting



Bollard light





**WATER CONSERVATION LEGEND**

	<b>ZONE #1</b> : LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 122.5M <sup>2</sup> MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 140 cu.m.		<b>ZONE #5</b> : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR LOW WATER USE PLANTING AREAS TOTAL AREA: 76.2M <sup>2</sup> MICROCLIMATE: SOUTH EXPOSURE, FULL SUN ESTIMATED ANNUAL WATER USE: 20 cu.m.
	<b>ZONE #2</b> : LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 73.1 M <sup>2</sup> MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 84 cu.m.		<b>ZONE #6</b> : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 32.3M <sup>2</sup> MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 14 cu.m.
	<b>ZONE #3</b> : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 26.3M <sup>2</sup> MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING ESTIMATED ANNUAL WATER USE: 12 cu.m.		<b>ZONE #7</b> : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 97M <sup>2</sup> MICROCLIMATE: NORTHWEST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 43 cu.m.
	<b>ZONE #4</b> : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR HIGH WATER USE PLANTING AREAS TOTAL AREA: 30.3M <sup>2</sup> MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 19 cu.m.		

**WATER CONSERVATION CALCULATIONS**

TOTAL LANDSCAPE AREA: 497 sq.m  
 LANDSCAPE MAXIMUM WATER BUDGET (WB)= 398 cu.m / year  
 ESTIMATED LANDSCAPE WATER USE ( WU) = 332 cu.m /year  
 WATER BALANCE = 66 cu.m /year  
 \*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

No.	By:	Description	Date
5	KM	Issued for DP	2024-03-12
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1	AL	Issued for Arbotrist Report	2023-03-13

**REVISIONS TABLE FOR DRAWINGS**

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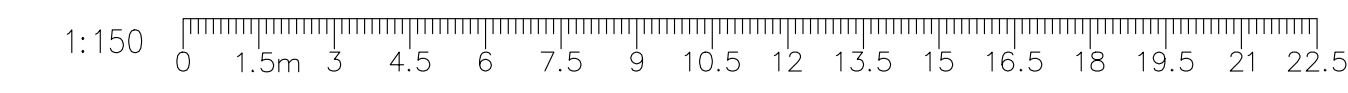
No.	By:	Description	Date
2	KM	DP Update	2024-03-15
1	KM	Riparian Setback Update	2023-05-01

**REVISIONS TABLE FOR SHEET**

Project:  
3805 LAKESHORE ROAD DEVELOPMENT

Location:  
3805 LAKESHORE ROAD  
KELOWNA, B.C.

Drawn: AH	Stamp:
Checked: KM	
Approved: MVDZ	
Scale: 1:150	Original Sheet Size: 24"x36"



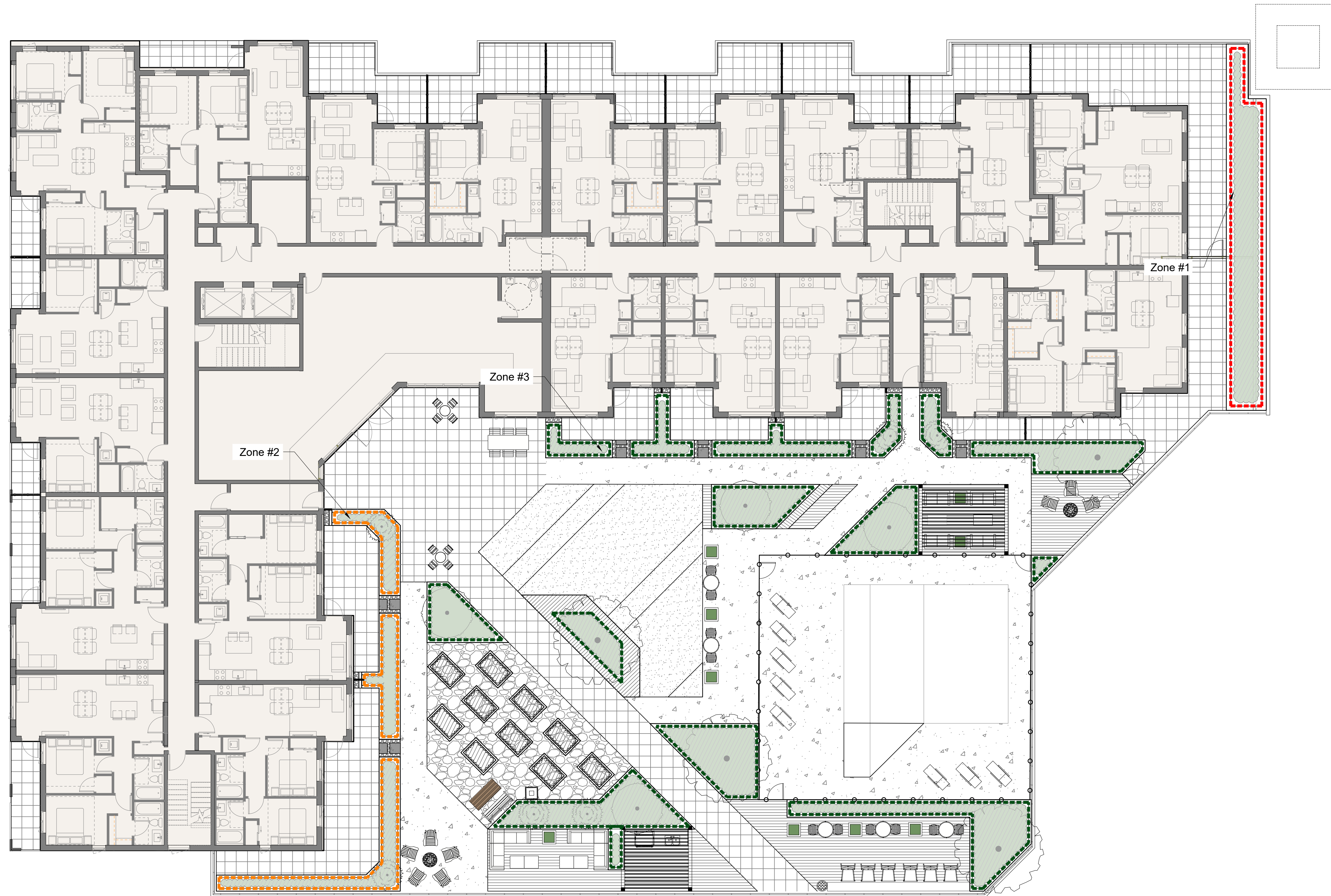
Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVEDP2022-76 3805 LAKESHORE ROAD\5. DWGS\SHEETS\L-06 L1 WATER CONSERVATION PLAN.DWG

Drawing Title:  
**L1 WATER CONSERVATION PLAN**



VDZ Project #:  
**DP2022-76**

Drawing #:  
**L-06**



**WATER CONSERVATION LEGEND**

	<p><b>ZONE #1 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS</b>          TOTAL AREA: 32.2M<sup>2</sup>          MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING          ESTIMATED ANNUAL WATER USE: 14 cu.m.</p>
	<p><b>ZONE #2 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS</b>          TOTAL AREA: 24.9M<sup>2</sup>          MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY BUILDING          ESTIMATED ANNUAL WATER USE: 11 cu.m.</p>
	<p><b>ZONE #3 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS</b>          TOTAL AREA: 118M<sup>2</sup>          MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES          ESTIMATED ANNUAL WATER USE: 52 cu.m.</p>

**WATER CONSERVATION CALCULATIONS**

TOTAL LANDSCAPE AREA: 346 sq.m  
 LANDSCAPE MAXIMUM WATER BUDGET (WB)= 277 cu.m / year  
 ESTIMATED LANDSCAPE WATER USE ( WU) = 143 cu.m /year  
 WATER BALANCE = 134 cu.m /year  
 \*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS



No.	By:	Description	Date
5	KM	Issued for DP	2024-03-12
4	KM	Issued for DP	2023-11-01
3	KM	Issued for DP	2023-04-27
2	KM	Issued for DP	2023-03-15
1	AL	Issued for Arbotist Report	2023-03-13

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No.	By:	Description	Date
1	KM	Riparian Setback Update	2023-05-01

REVISIONS TABLE FOR SHEET

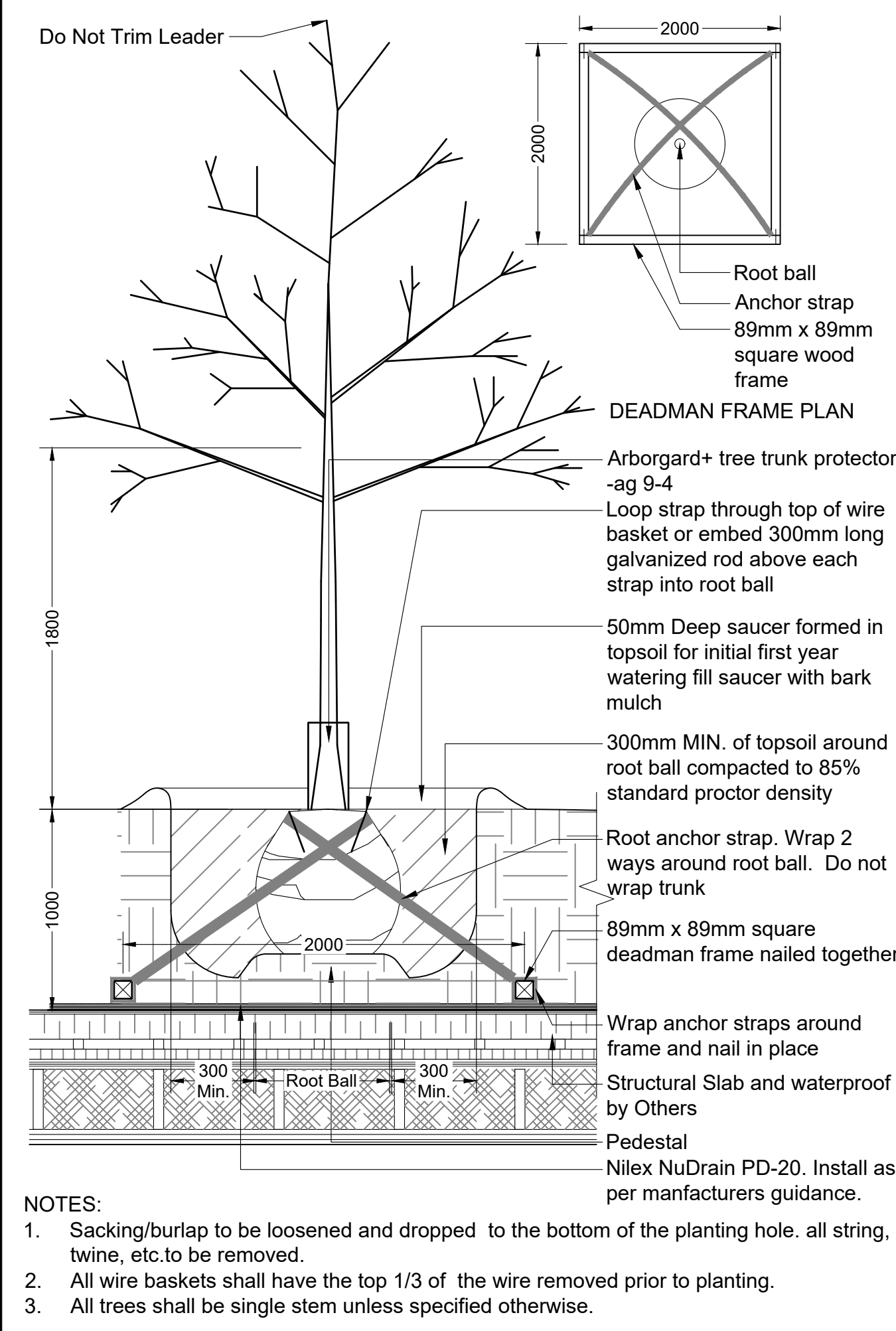
Project:  
 3805 LAKESHORE ROAD  
 DEVELOPMENT

Location:  
 3805 LAKESHORE ROAD  
 KELOWNA, B.C.

Drawn: AH	Stamp:
Checked: KM	
Approved: MVDZ	
Scale: 1:125	Original Sheet Size: 24"x36"

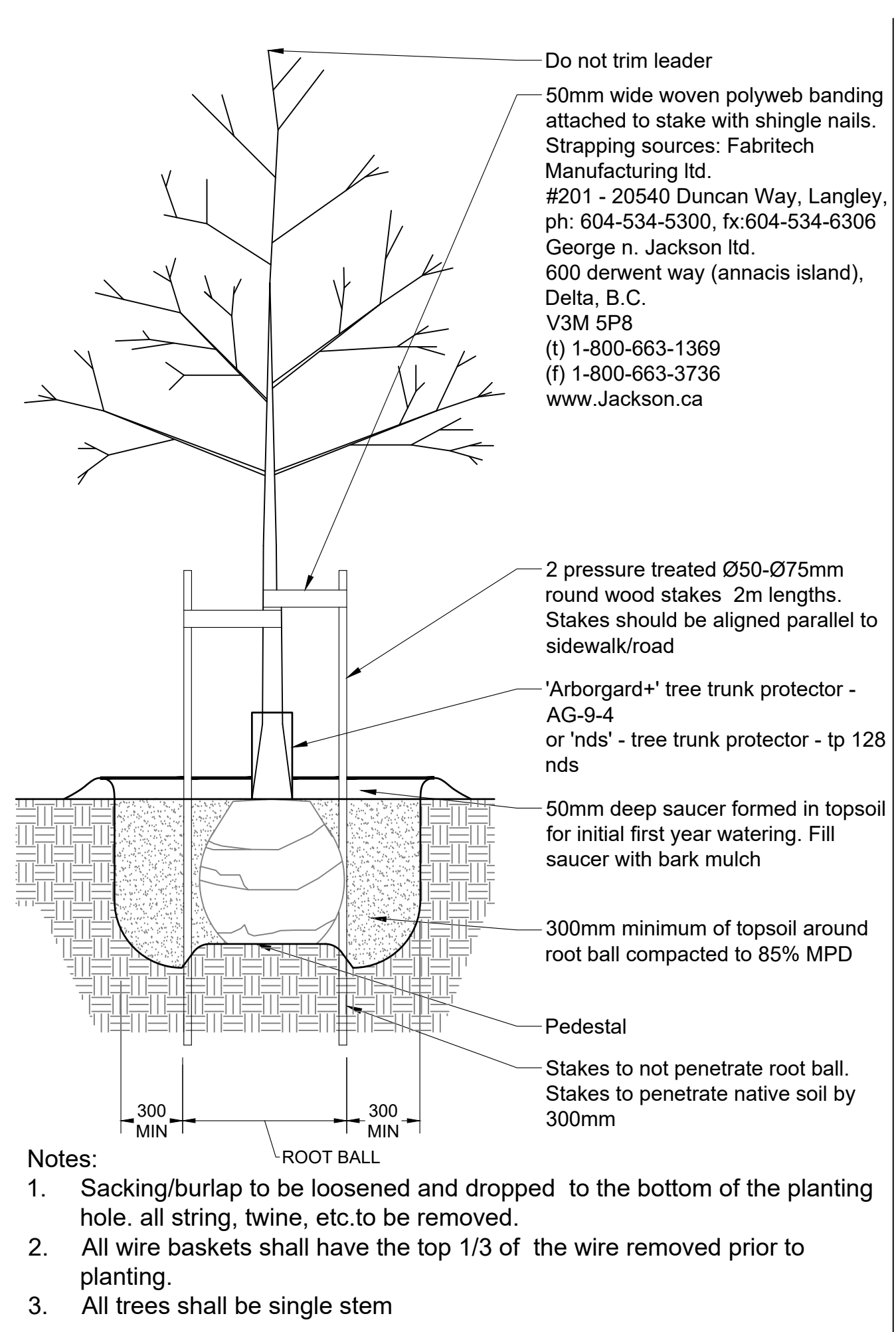
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.





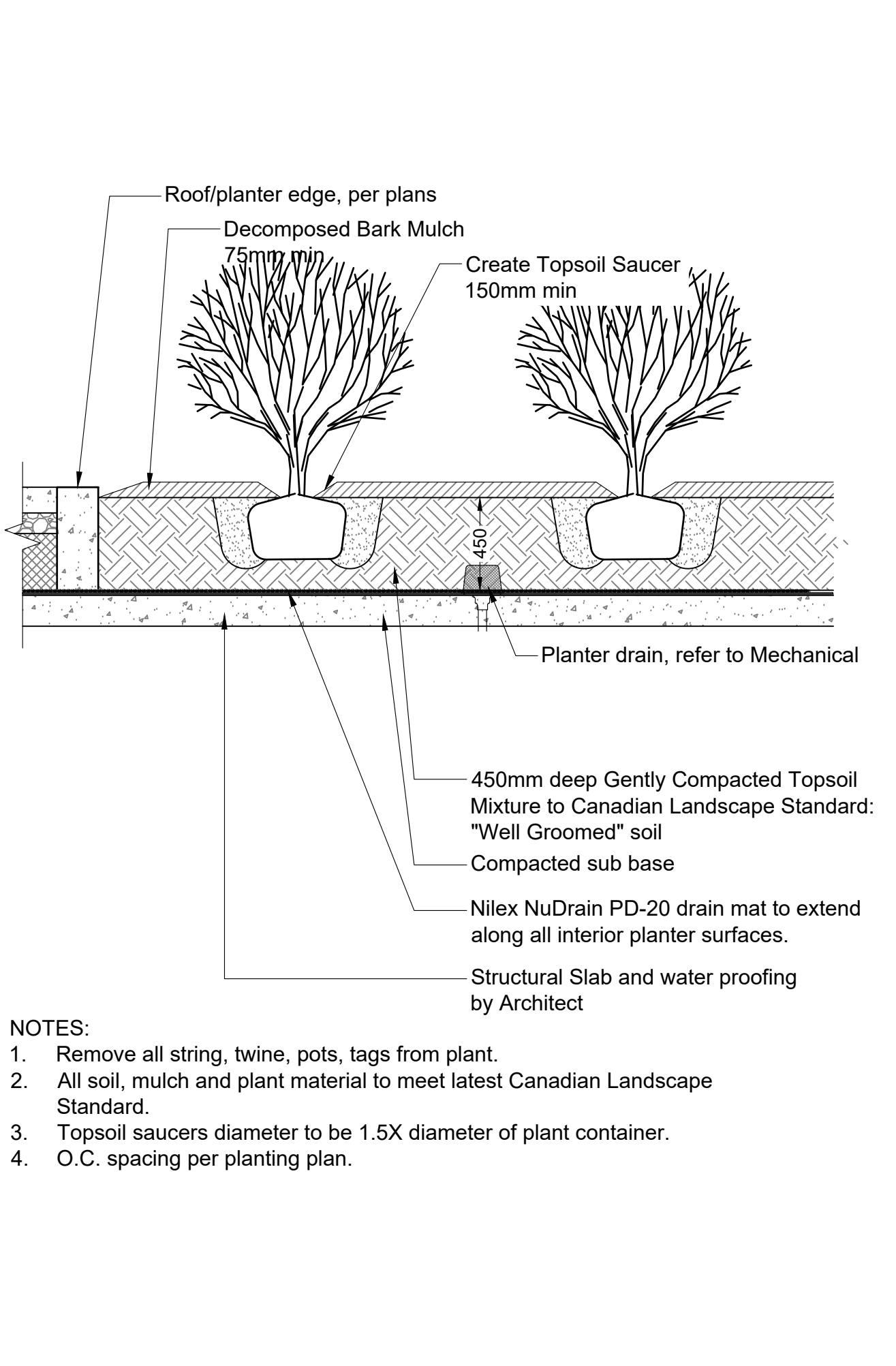
- NOTES:
1. Sacking/burlap to be loosened and dropped to the bottom of the planting hole. all string, twine, etc to be removed.
  2. All wire baskets shall have the top 1/3 of the wire removed prior to planting.
  3. All trees shall be single stem unless specified otherwise.

**1 TREE PLANTING ON SLAB**  
 Scale 1:25



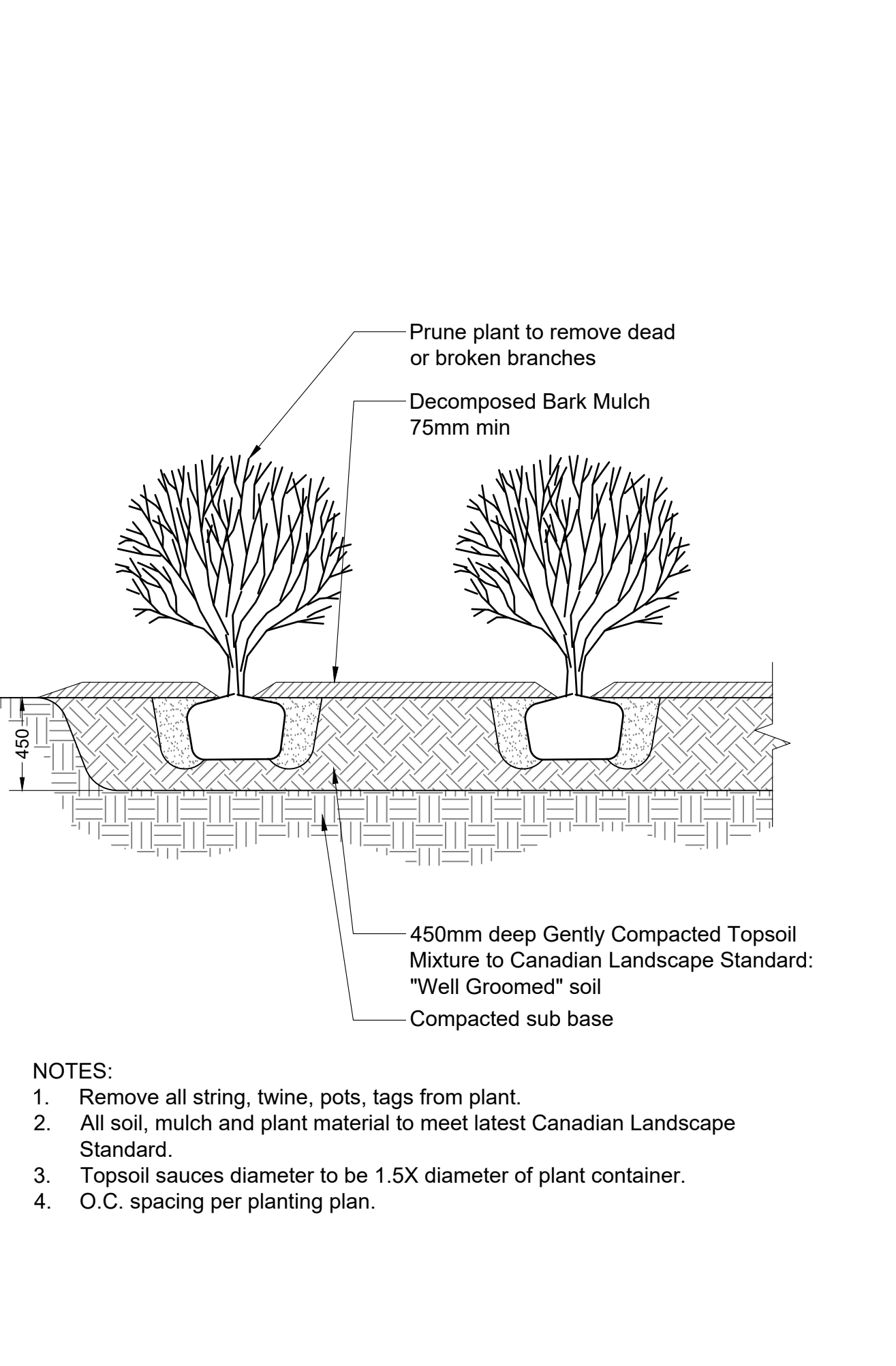
- Notes:
1. Sacking/burlap to be loosened and dropped to the bottom of the planting hole. all string, twine, etc to be removed.
  2. All wire baskets shall have the top 1/3 of the wire removed prior to planting.
  3. All trees shall be single stem

**2 TREE PLANTING AT GRADE**  
 Scale 1:25



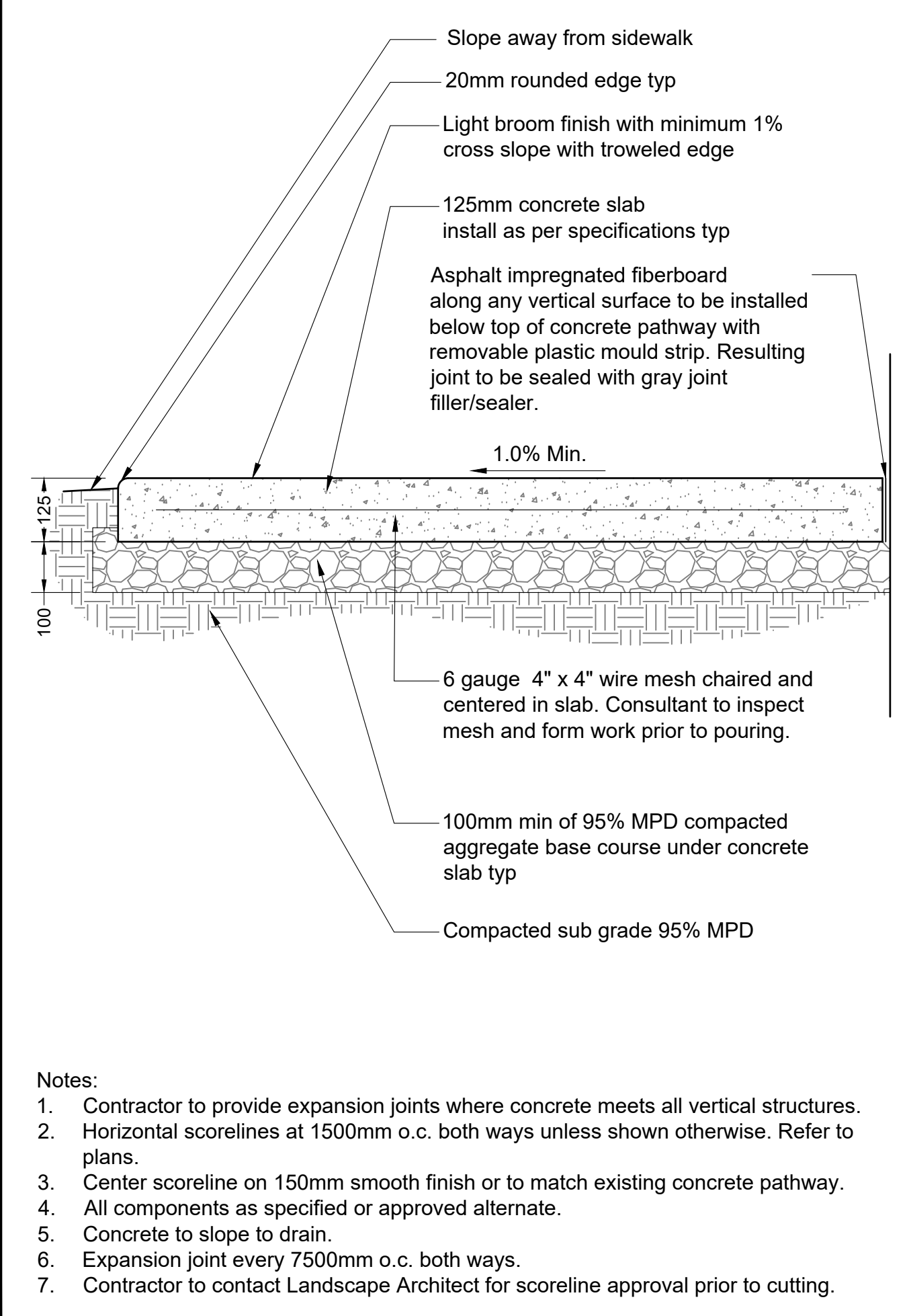
- NOTES:
1. Remove all string, twine, pots, tags from plant.
  2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.
  3. Topsoil saucers diameter to be 1.5X diameter of plant container.
  4. O.C. spacing per planting plan.

**3 SHRUB PLANTING ON SLAB**  
 Scale 1:25



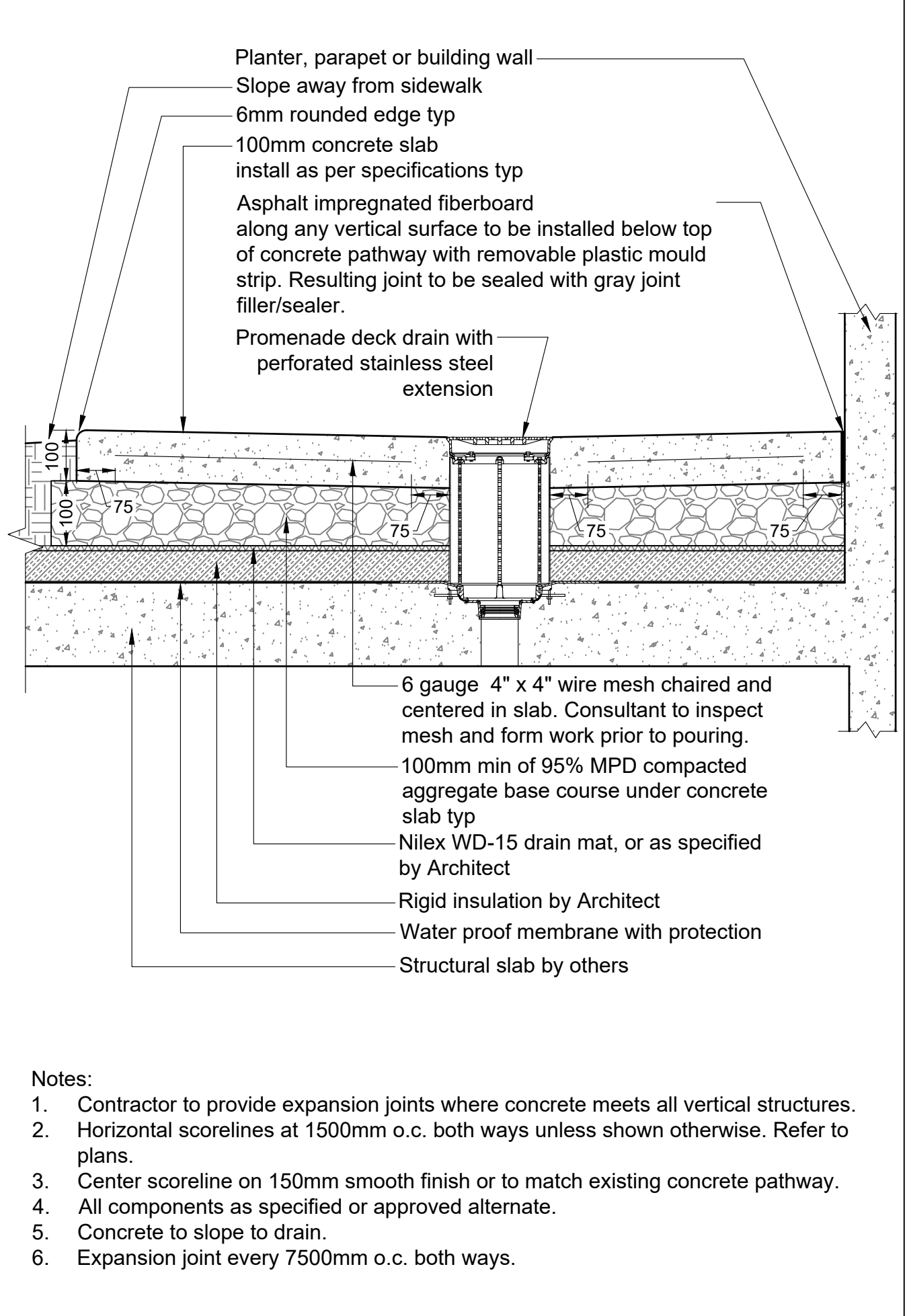
- NOTES:
1. Remove all string, twine, pots, tags from plant.
  2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.
  3. Topsoil saucers diameter to be 1.5X diameter of plant container.
  4. O.C. spacing per planting plan.

**4 SHRUB PLANTING AT GRADE**  
 Scale 1:25



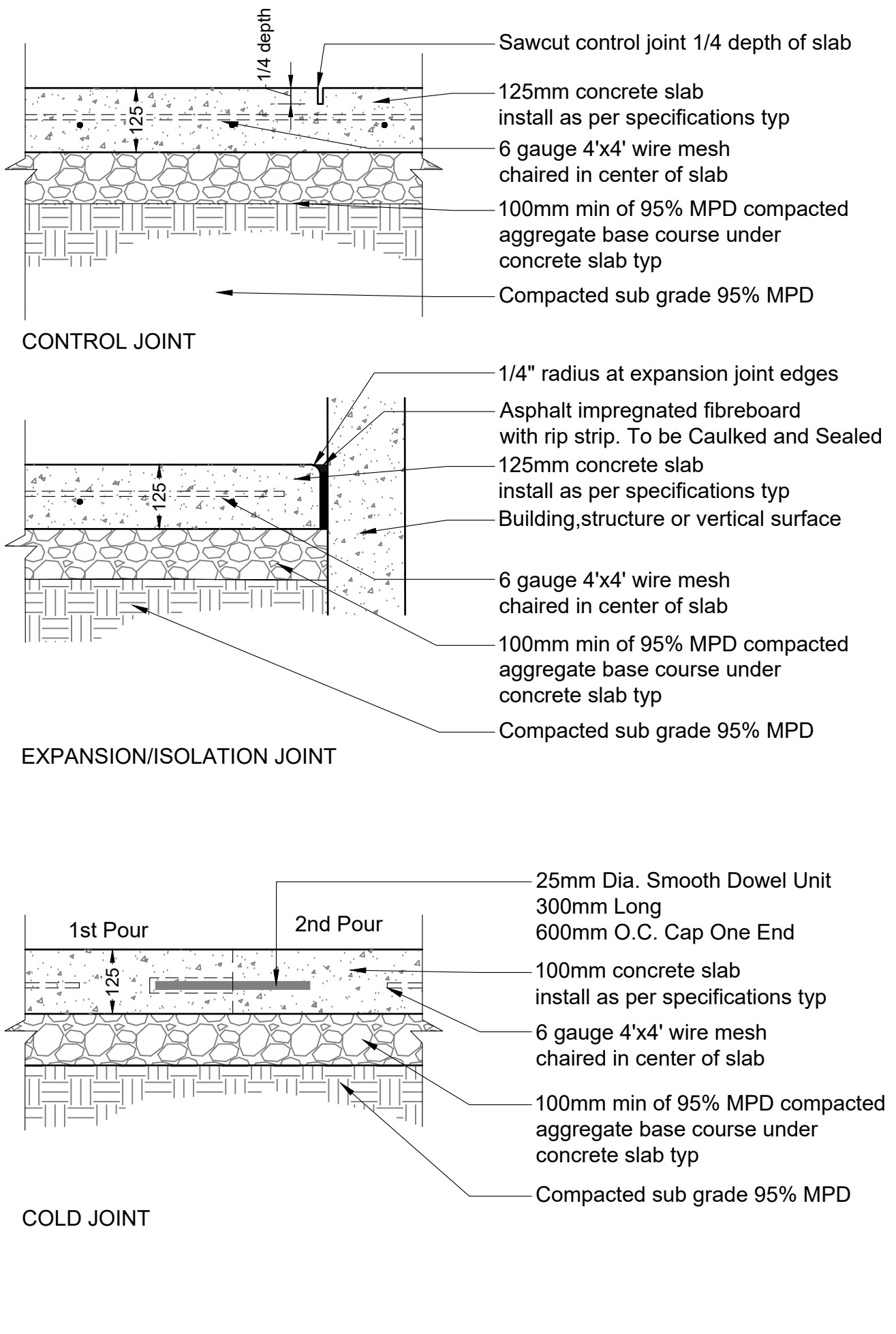
- Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures.
  2. Horizontal scorelines at 1500mm o.c. both ways unless shown otherwise. Refer to plans.
  3. Center scoreline on 150mm smooth finish or to match existing concrete pathway.
  4. All components as specified or approved alternate.
  5. Concrete to slope to drain.
  6. Expansion joint every 7500mm o.c. both ways.
  7. Contractor to contact Landscape Architect for scoreline approval prior to cutting.

**5 CONCRETE PAVING AT GRADE**  
 Scale 1:10



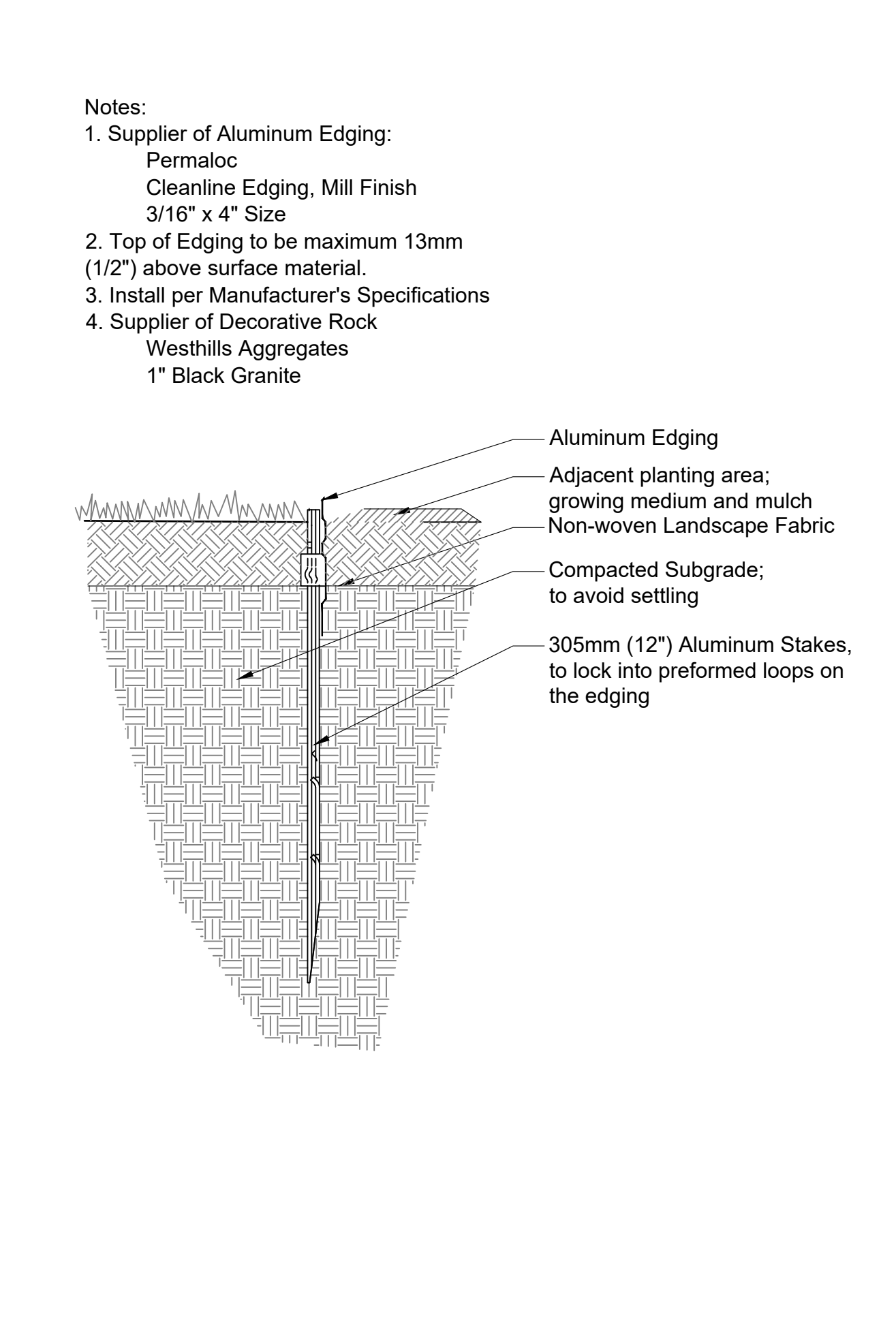
- Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures.
  2. Horizontal scorelines at 1500mm o.c. both ways unless shown otherwise. Refer to plans.
  3. Center scoreline on 150mm smooth finish or to match existing concrete pathway.
  4. All components as specified or approved alternate.
  5. Concrete to slope to drain.
  6. Expansion joint every 7500mm o.c. both ways.

**6 CONCRETE PAVING ON SLAB**  
 Scale 1:10



- Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures.
  2. Horizontal scorelines at 1500mm o.c. both ways unless shown otherwise. Refer to plans.
  3. Center scoreline on 150mm smooth finish or to match existing concrete pathway.
  4. All components as specified or approved alternate.
  5. Concrete to slope to drain.
  6. Expansion joint every 7500mm o.c. both ways.

**7 CONCRETE JOINTS**  
 Scale 1:10



- Notes:
1. Supplier of Aluminum Edging: Permaloc Cleanline Edging, Mill Finish 3/16" x 4" Size
  2. Top of Edging to be maximum 13mm (1/2") above surface material.
  3. Install per Manufacturer's Specifications
  4. Supplier of Decorative Rock Westhills Aggregates 1" Black Granite

**8 LANDSCAPE EDGER**  
 Scale 1:5

No.	By:	Description	Date
5	KM	Issued for DP	2024-03-12
4	KM	Issued for DP	2023-11-01
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2	KM	Issued for DP	2023-03-15
1	AL	Issued for Arborist Report	2023-03-13

REVISIONS TABLE FOR DRAWINGS

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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:  
**3805 LAKESHORE ROAD DEVELOPMENT**

Location:  
**3805 LAKESHORE ROAD KELOWNA, B.C.**

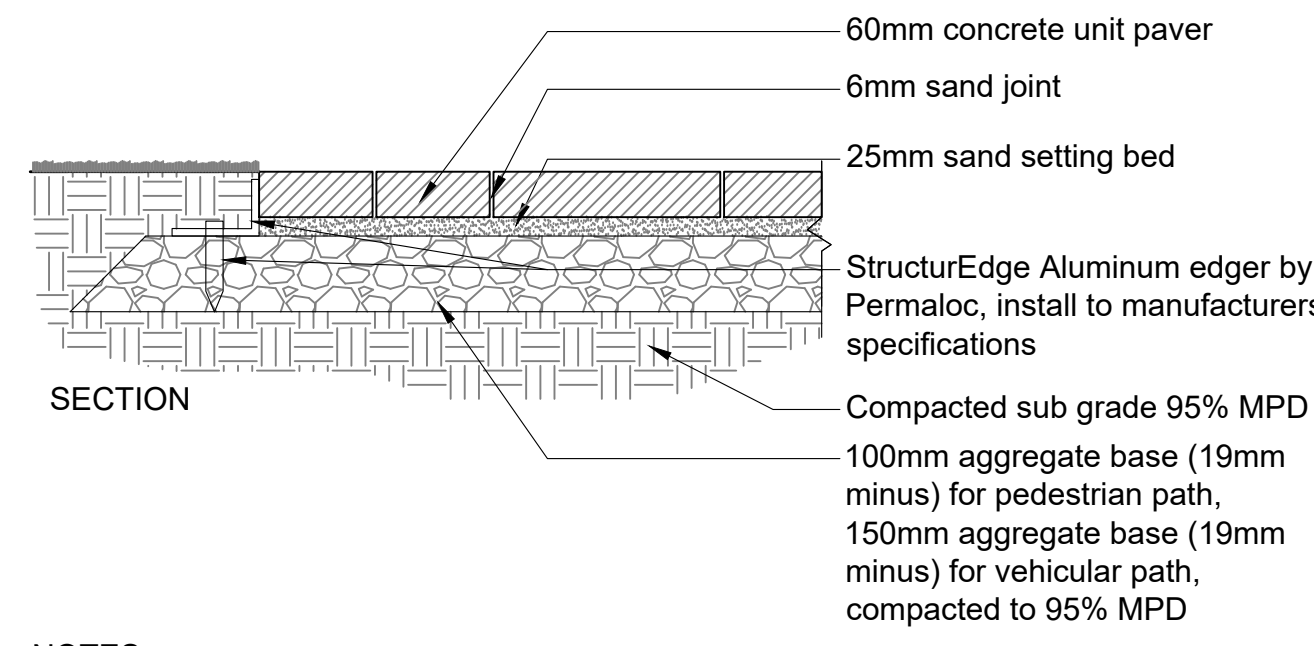
Drawn: AH	Stamp:
Checked: KM	
Approved: SH	
Scale: AS SHOWN	Original Sheet Size: 24"x36"

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Z:\PROJECTS\DEVELOPMENT PERMITS\2022-26 3805 LAKESHORE ROAD\5. DWGS\SHEET\SLD-05.DETAILS.DWG

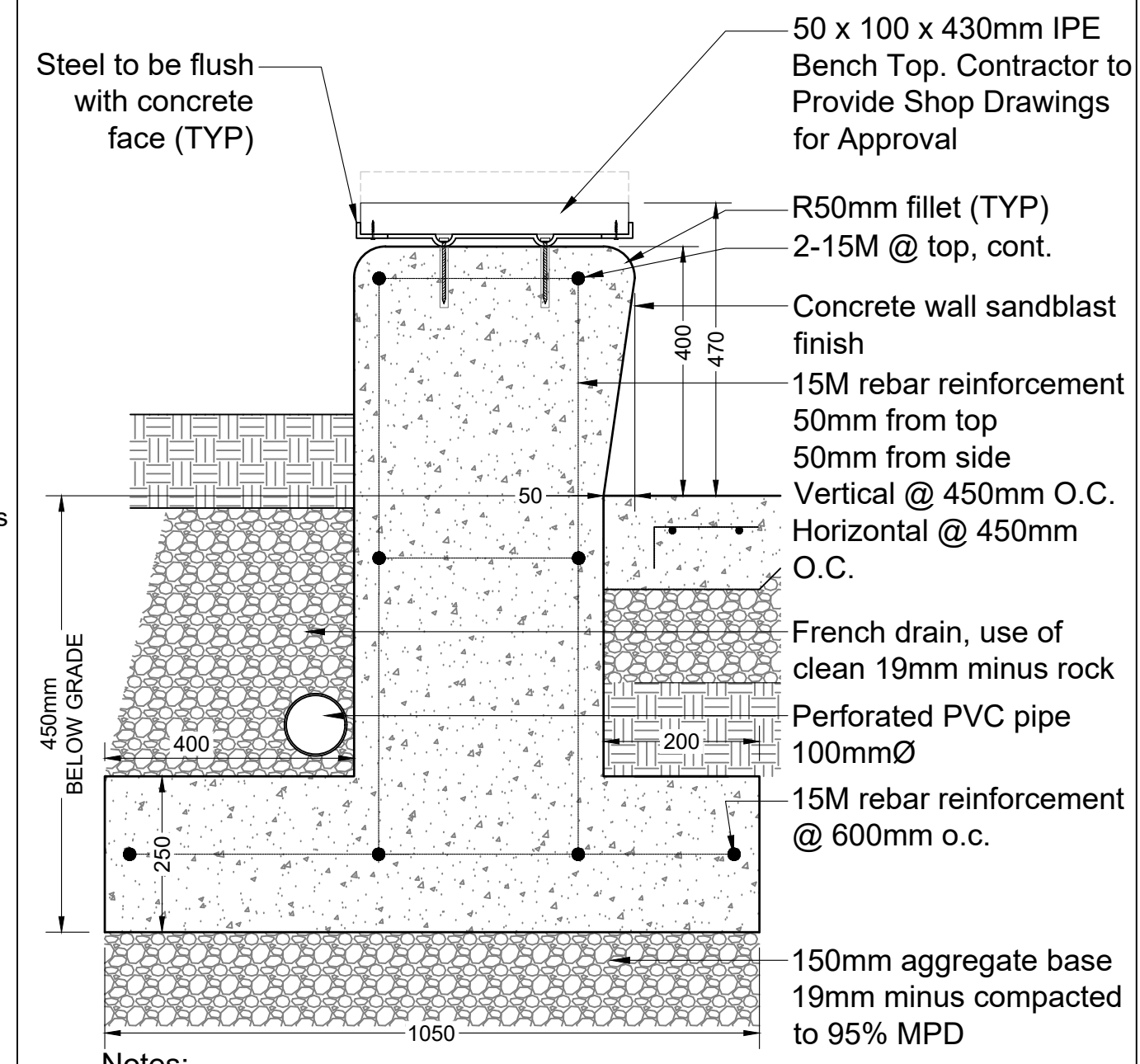
Drawing Title: **DETAILS**  
 Vdz Project #: **DP2022-76**  
 Drawing #: **LD-01**

Unit Paver Details (pedestrian path):  
 Type: DIMENSIONS™  
 Size: L305mm X W152mm X 60mm  
 Colours: scandina grey  
 Pattern: as shown on plan  
 Manufacturer: Belgard  
<https://www.belgard.com/products/pavers/dimensions/>  
 1-800-663-4091



- NOTES:
- All bedding sand to meet ASTM C33 or CSA A23.1 FA1.
  - All joint sand to meet ASTM C144 or CSA A179.
  - All components as specified or approved alternate.
  - Contractor to provide cut sheets of all components for Landscape Architect approval.
  - Contractor to ensure no visible pooling occurs on paver surface.
  - All joints to be tight fit.
  - All paver cuts to be minimum 1/3 Paver.

**1 UNIT PAVER AT GRADE**  
 Scale 1:10



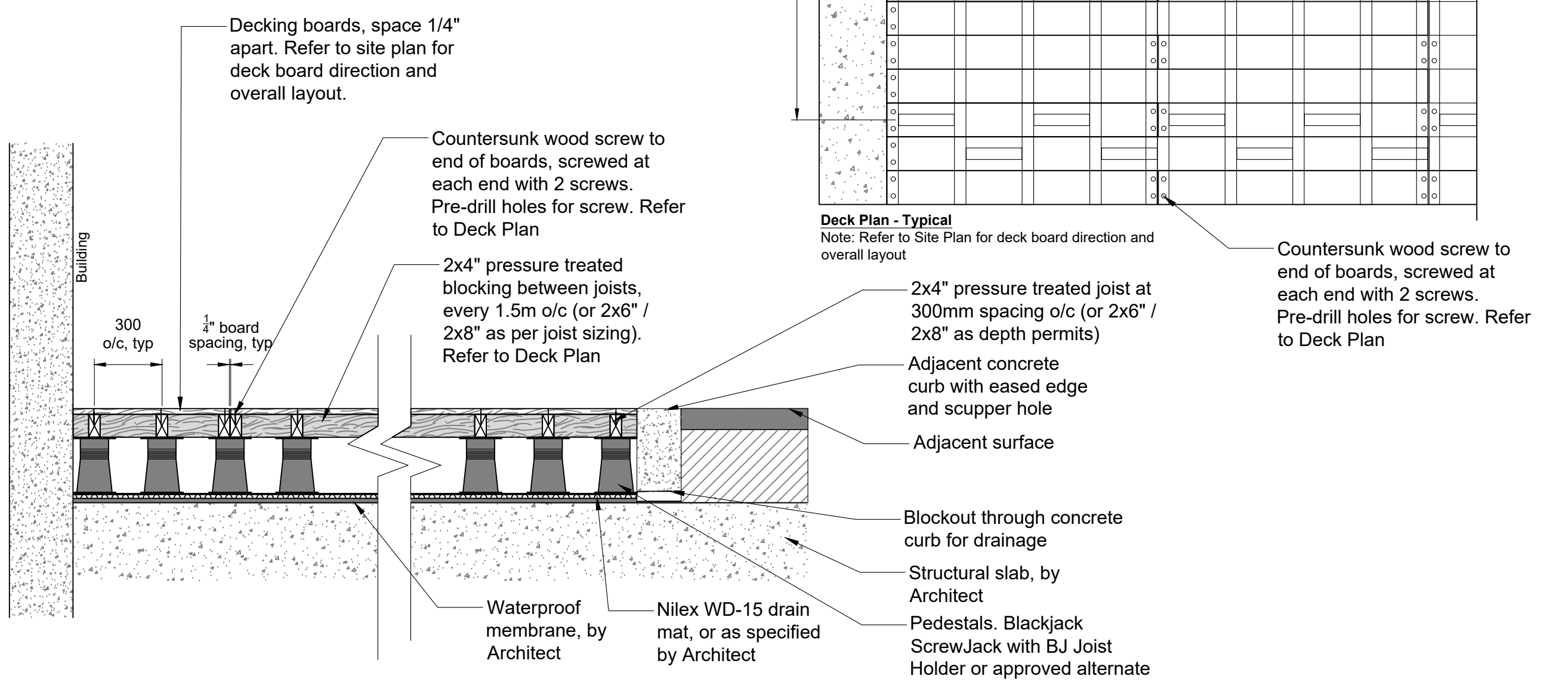
- Notes:
- Vertical Control Joints Every 3m on center.
  - Wall heights vary. Refer to Grading Plan.

**2 CONCRETE SEAT WALL AT GRADE**  
 Scale 1:10

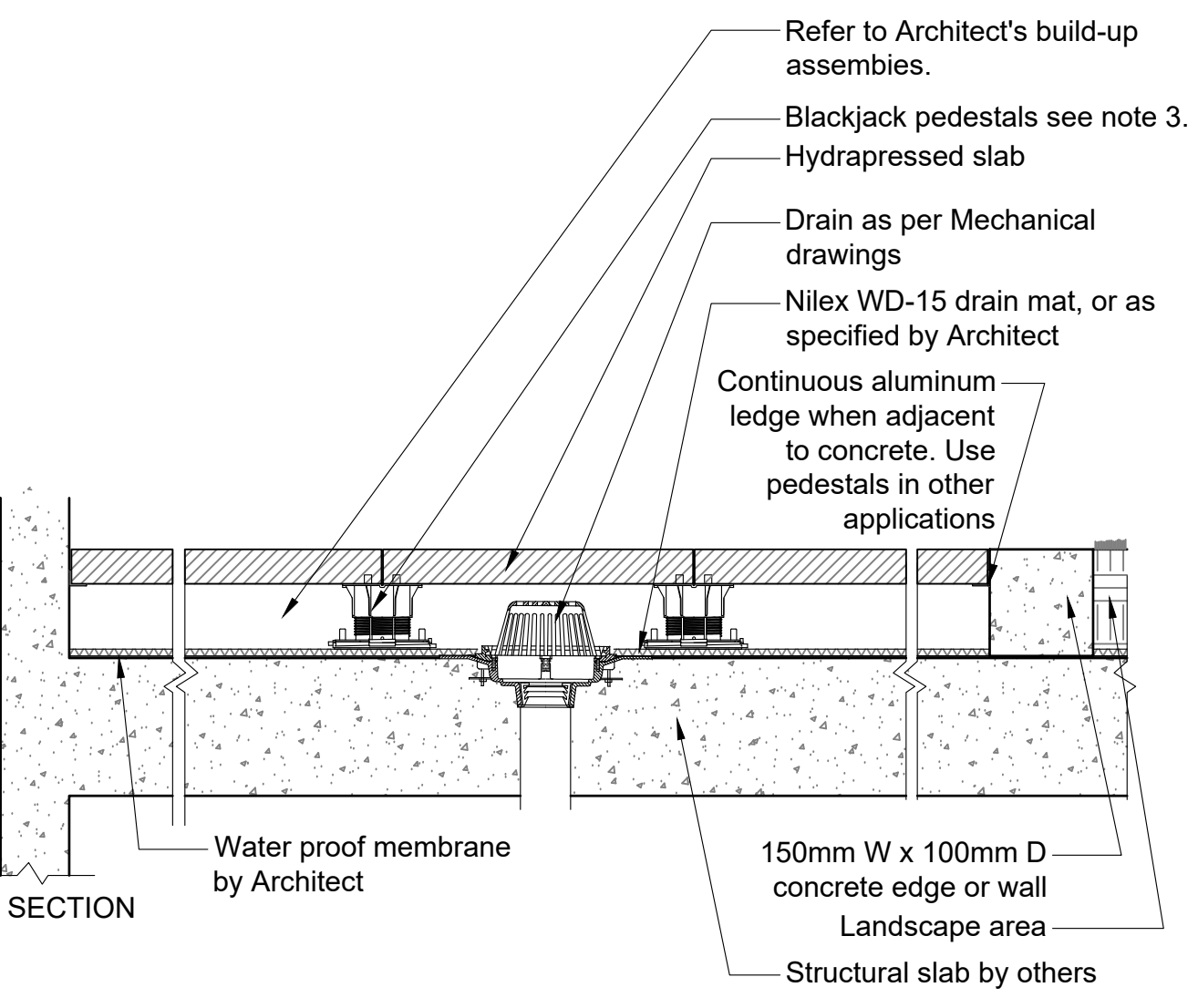


Product: Timbertech  
 Type: Legacy Collection  
 Colour: Pecan  
 Supplier: www.timbertech.com

- Notes:
- Install as per manufacturer's specifications.
  - Contractor to provide shop drawings for Landscape Architect review and approval.
  - Refer to Site Plan for deck board direction and overall layout.
  - All fasteners to be hot dipped galvanized

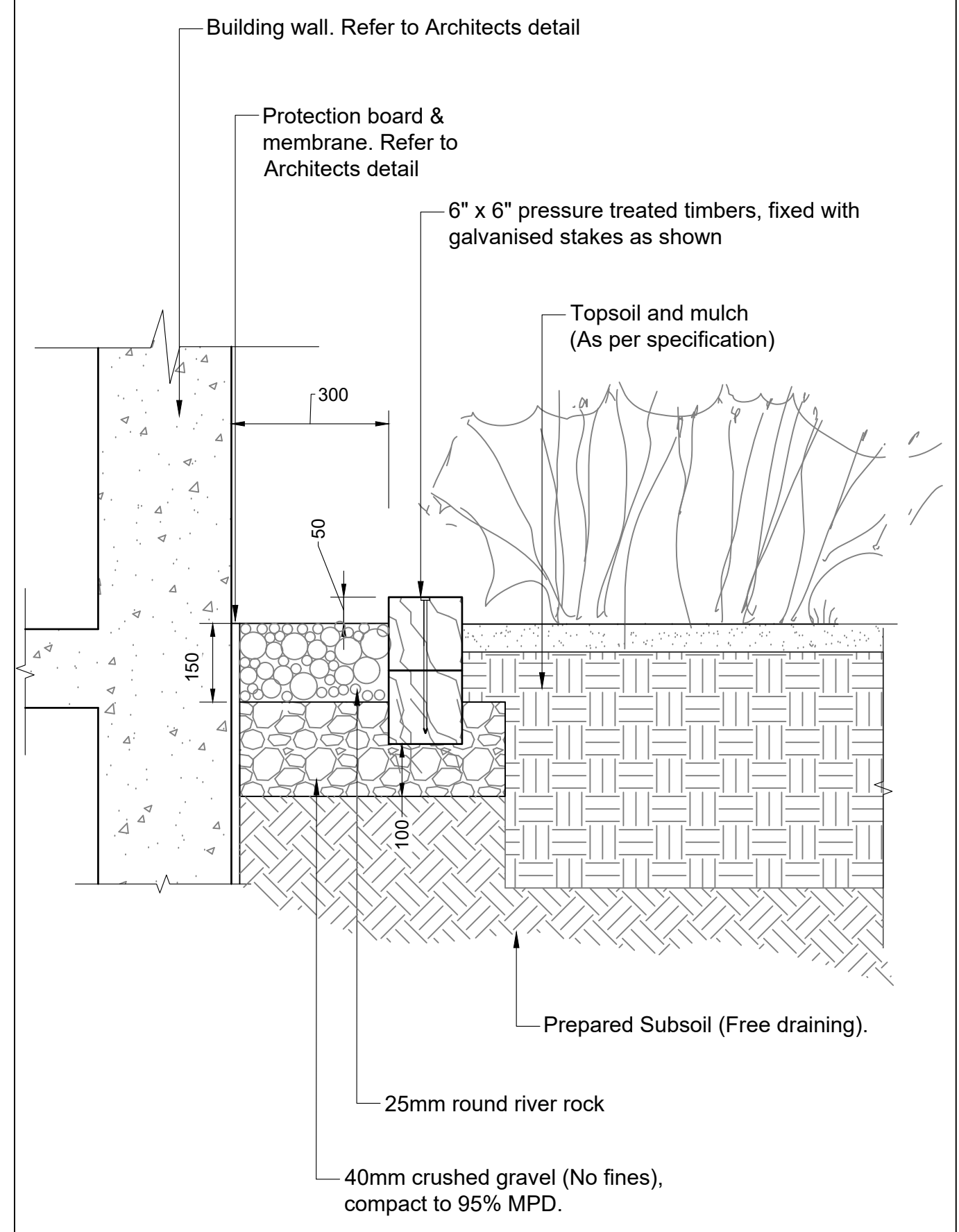


**3 DECKING ON SLAB**  
 Scale 1:10

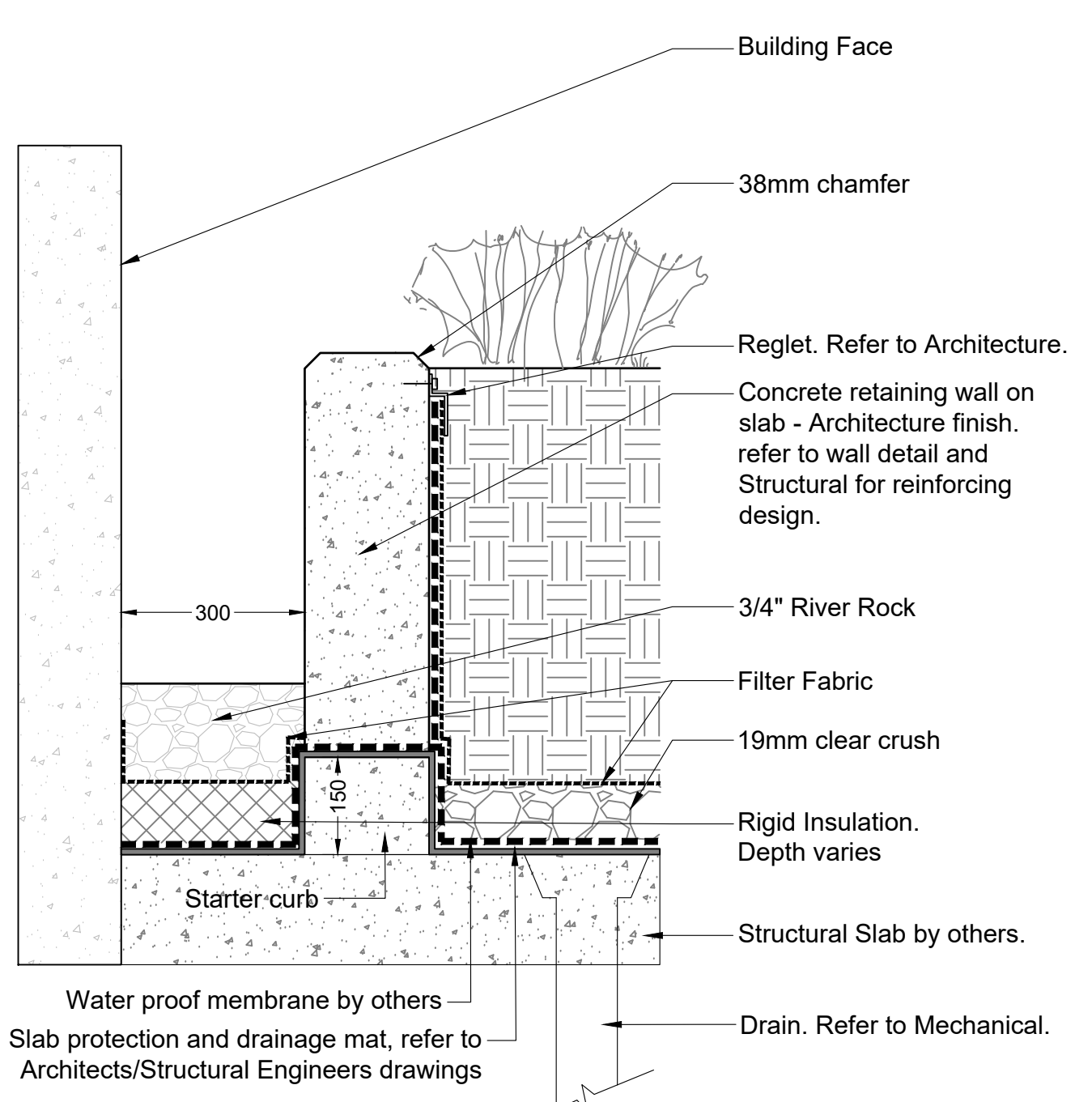


- NOTES:
- All components as specified or approved alternate.
  - Contractor to provide cut sheets of all components for Landscape Architect approval.
  - BlackJack Screwjack or OneStep system depending on depth to slab.
  - Aluminum ledge to be secured to wall/curb with concrete screws.
  - Architect's assembly's differ between floor type and roof type. The above 'structural slab' is indicative only. Refer to Architecture for relevant assemblies.

**4 HYDRAPRESSED SLAB ON SLAB**  
 Scale 1:10

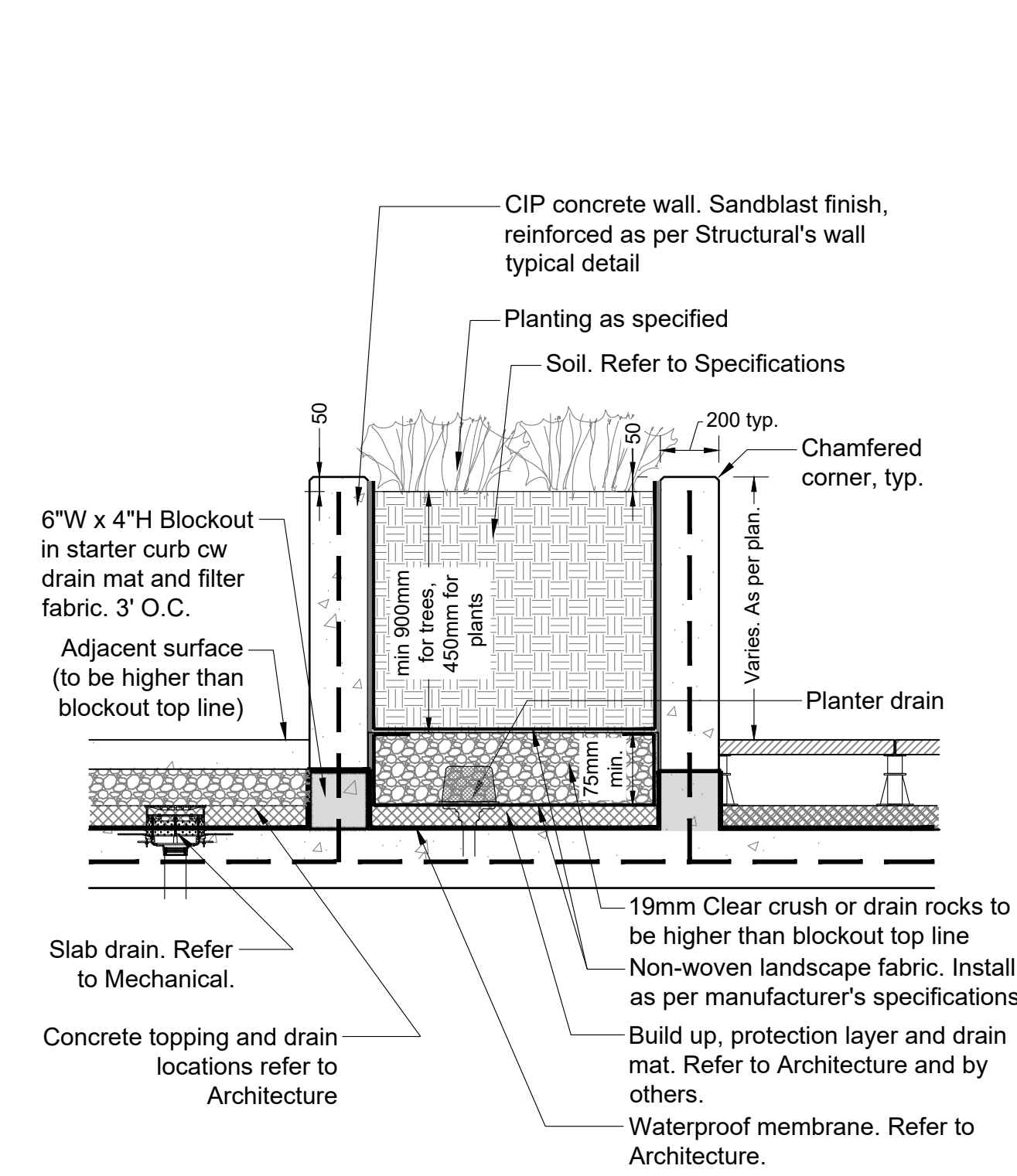


**5 DRIP STRIP AT GRADE**  
 Scale 1:10



- Notes:
- Vertical Control Joints every 3000mm on center.
  - Provide block out every 1m for water to flow under walls to designated drain. Refer to Mechanical for drain system.
  - Sandblast finish walls

**6 DRIP STRIP ON SLAB**  
 Scale 1:10



- Note:
- Refer to Architect's drawings for floor assemblies.
  - Extend rebar 300mm min. from up-stand to facilitate concrete curb/planter construction and tie points for reinforcement. Waterproofing membrane and protection to cover upstand. Seal any gaps with approved sealer after wall has cured.

**7 RAISED CONCRETE PLANTER**  
 Scale 1:10

No.	By:	Description	Date
5	KM	Issued for DP	2024-03-12
4	KM	Issued for DP	2023-11-01
3	KM	Issued for DP	2023-04-27
2	KM	Issued for DP	2023-03-15
1	AL	Issued for Arborist Report	2023-03-13

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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:  
 3805 LAKESHORE ROAD DEVELOPMENT  
 Location:  
 3805 LAKESHORE ROAD KELOWNA, B.C.

Drawn: AH	Stamp:
Checked: KM	Original Sheet Size: 24"x36"
Approved: SH	
Scale: AS SHOWN	

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Z:\PROJECTS\DEVELOPMENT PERMUTACTIVE\DP2022-36 3805 LAKESHORE ROAD\5. DWGS\SHEET\SLD-01 DETAILS.DWG

Drawing Title: DETAILS  
 Drawing #: LD-02  
 Vdz Project #: DP2022-76



Chaise Chair  
 Product: Cochran Chaise Lounge  
 Color: White  
 Manufacturer: Landscapeforms  
[www.landscapeforms.com](http://www.landscapeforms.com)  
 or Approved Equal

1 POOL DECK CHAIR  
 Scale NTS



TABLE AND CHAIRS  
 Model #: Kontur Table and Chairs (MCH-2000-00001)  
 Colour: Silver 14  
 Manufacturer: Maglin  
 Contact: Jennifer Fancy  
[Jennifer.Fancy@maglin.com](mailto:Jennifer.Fancy@maglin.com)  
 1-800-716-5506 x6050  
 Or approved equal

2 TABLE AND CHAIRS  
 Scale NTS



OUTDOOR KITCHEN SINK AND GRILL CABINET SET  
 Model: NewAge Products 65087  
 Material: Stainless Steel  
 Size: Sink Cabinet: 32" W x 23" D x 34.75" H  
 Bar Cabinet: 32" W x 23" D x 34.5" H  
 Insert Grill Cabinet: 33" W x 23" D x 34.75" H  
 Contact: <https://newageproducts.com/>  
 877-306-8930  
 or approved equal



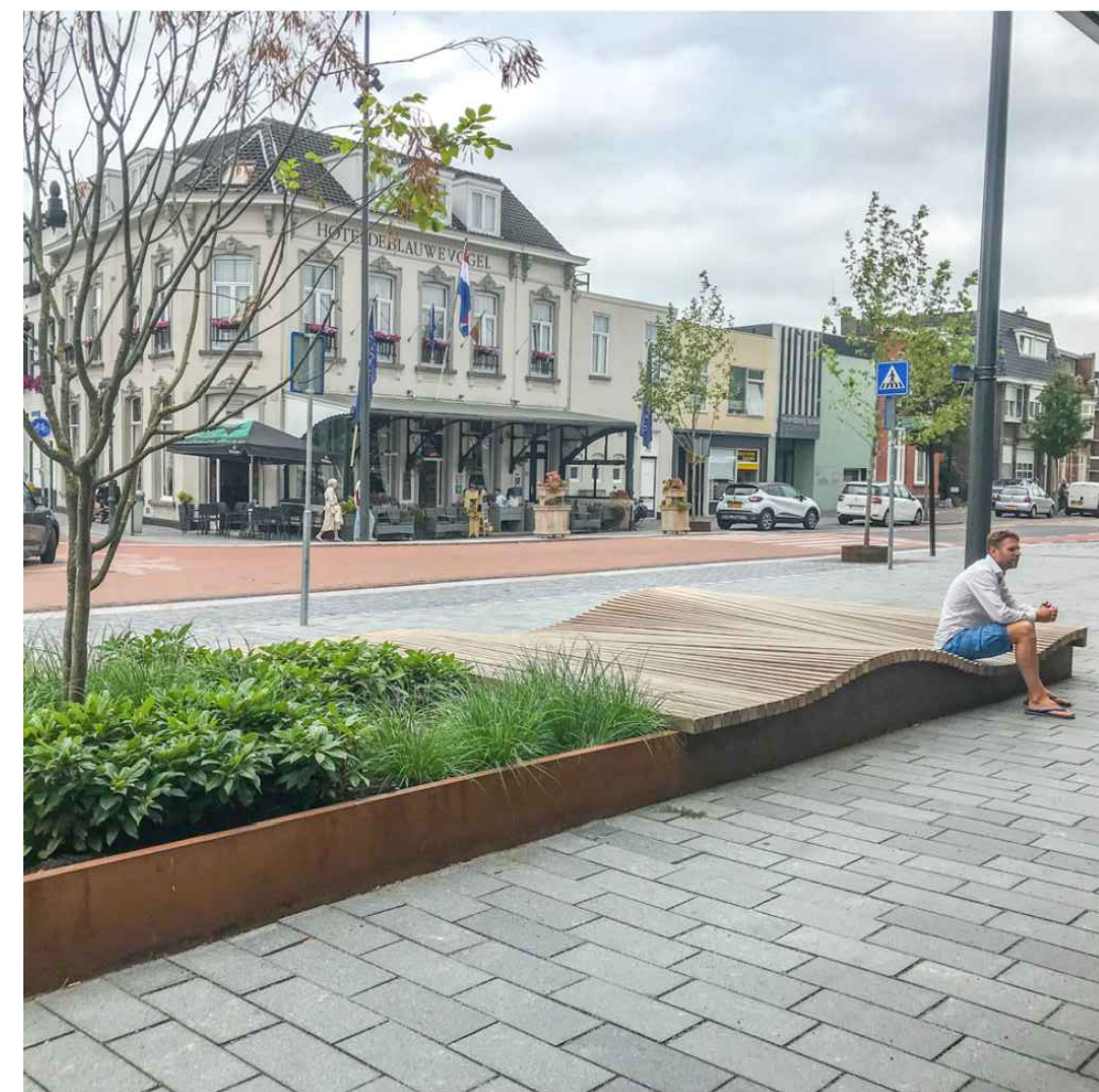
BUILT-IN GRILL  
 Model: New Age 33" Insert Grill  
 Material: Stainless Steel  
 Size: 33" W x 23" D x 25.5" H  
 Contact: <https://newageproducts.com/>  
 877-306-8930  
 or approved equal

3 OUTDOOR KITCHEN  
 Scale NTS



COMPOST BIN  
 Model #: HotBin Mk2 Composter, 52 Gallon  
 Size: 22" L x 22 W x 44" H  
 Material: Expanded Polypropylene  
 Supplier: Gardeners supply company  
<https://www.gardeners.com/>

4 COMPOST BIN  
 Scale NTS



FEATURE SEATING

5 FEATURE SEATING  
 Scale NTS



GARBAGE RECEPTACLE  
 Model #: 200 Series - 250 Trash Container  
 Colour: Silver 14  
 Manufacturer: Maglin  
[www.maglin.com](http://www.maglin.com)  
 Or approved equal

6 GARBAGE RECEPTACLE  
 Scale NTS



BIKE RACK  
 Model #: 2300 Series Iconic Bike Rack  
 Colour: Silver 14  
 Manufacturer: Maglin  
[www.maglin.com](http://www.maglin.com)  
 Or approved equal

7 BIKE RACK  
 Scale NTS



BENCH  
 Model #: 2300 Series Iconic Bench  
 Size: 33.3" x 70" x 25.5"  
 Colour: Powder coated white  
 IPE Wood  
 Mount: As per manufacturer's specification  
 Supplier: Maglin  
 Jennifer Fancy  
[Jennifer.Fancy@maglin.com](mailto:Jennifer.Fancy@maglin.com)  
 1-800-716-5506 x6050  
 Or approved equal

8 BENCH  
 Scale NTS

No.	By:	Description	Date
5	KM	Issued for DP	2024-03-12
4	KM	Issued for DP	2023-11-01
3	KM	Issued for DP	2023-04-27
2	KM	Issued for DP	2023-03-15
1	AL	Issued for Arborist Report	2023-03-13

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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:  
 3805 LAKESHORE ROAD  
 DEVELOPMENT

Location:  
 3805 LAKESHORE ROAD  
 KELOWNA, B.C.

Drawn: AH	Stamp:
Checked: KM	
Approved: SH	
Scale: AS SHOWN	

Original Sheet Size:  
 24"x36"  
 CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.



**OUTDOOR SOFA**

Model #: Nexus Collection:  
 -Nexus Armless Two Seat (M77022)  
 -Nexus Corner Seat (M77032)  
 -Nexus Lounge Chair (M77004)  
 -Nexus Ottoman (M77008)  
 Colour: Carvans Natural (6404)

**1** OUTDOOR SOFA  
Scale NTS

**TROUGHS** PRODUCT SPECIFICATION SHEET 09/17/21

**Material:** 0.125" marine grade 5052 aluminum  
**Finish:** Durable, UV rated powder coat  
**Colour:** Sterling Mocha Cloud / Slate Night Carbon / Tuscan Snow  
**Drainage Holes:** Yes / No drainage holes available upon request  
**Top Lip:** Standard 1" lip / \*\* 1 1/2 lip with 1" return + stiffeners

Dimensions (in):			Weights	
L	W	H	lbs	kg
32	10	16	21	10
36	10	16	23	10
40	10	16	25	11
46	10	16	28	13
32	10	24	29	13
36	10	24	32	15
40	10	24	35	16
46	10	24	39	18
40	20	24	46	21
46	20	24**	51	23
60	20	24**	63	29
72	20	24**	73	33

\*Can also be fabricated without a lip  
 Custom sizes available upon request

Project:	
Company Name:	
Contact Name:	
Date:	
Approval Signature:	

**TROUGHS Moveable Planters**  
Size: as per plan



**2** DIVIDING PLANTER  
Scale NTS

**CUBES** PRODUCT SPECIFICATION SHEET 09/17/21

**Material:** 0.125" marine grade 5052 aluminum  
**Finish:** Durable, UV rated powder coat  
**Colour:** Sterling Mocha Cloud / Slate Night Carbon / Tuscan Snow  
**Drainage Holes:** Yes / No drainage holes available upon request  
**Top Lip:** Standard 1" lip

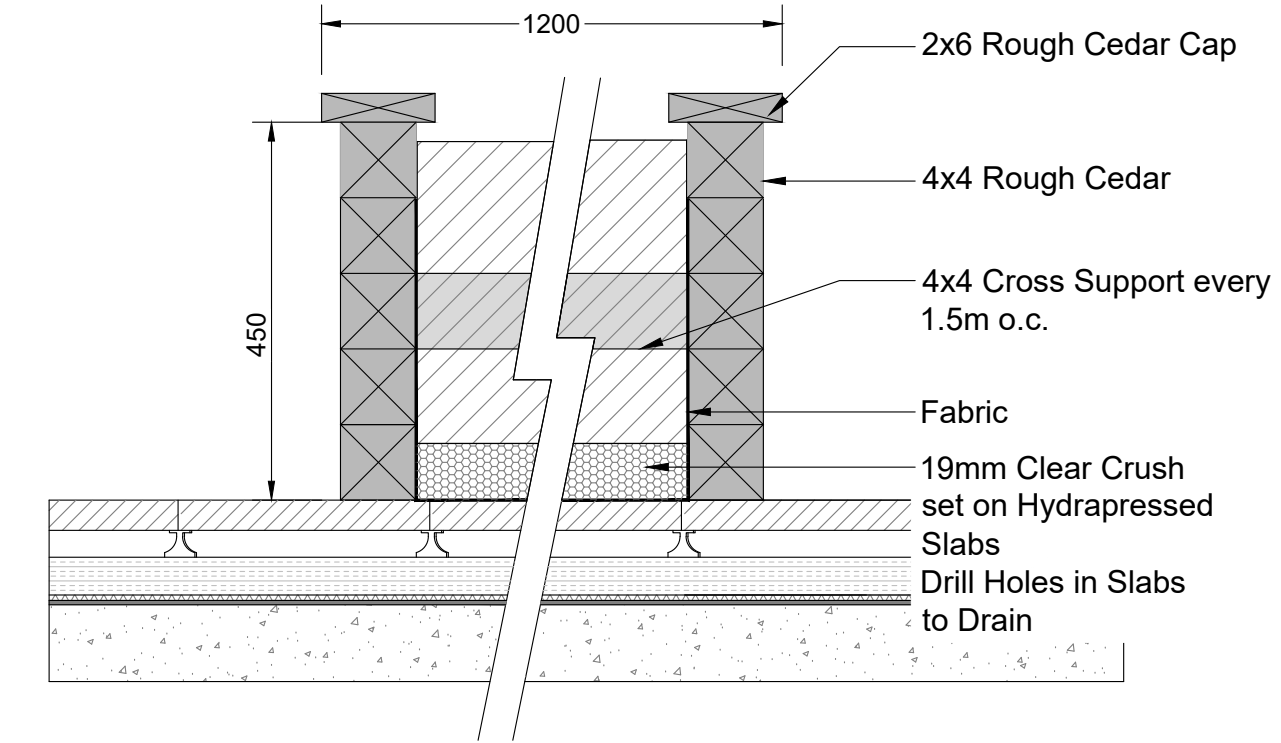
Dimensions (in):			Weights	
L	W	H	lbs	kg
16	16	16	16	7
20	20	20	25	11
24	24	24	36	16
28	28	28	49	22
36	36	36	81	36

\*Can also be fabricated without a lip  
 Custom sizes available upon request

**CUBES Moveable Planters**  
Size: as per plan



**3** PLANTING POT  
Scale NTS



- NOTES:**
1. Cap to be sanded smooth.
  2. Cap and exterior of planter to be treated with Sikken's Cetol WB SRD, Colour: #077 (Cedar)
  3. All fasteners to be hot dipped galvanized.

**4** COMMUNITY PLANTER  
Scale 1:10

No.	By:	Description	Date
5	KM	Issued for DP	2024-03-12
4	KM	Issued for DP	2023-11-01
3	KM	Issued for DP	2023-04-27
2	KM	Issued for DP	2023-03-15
1	AL	Issued for Arbotrist Report	2023-03-13

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No.	By:	Description	Date

**REVISIONS TABLE FOR SHEET**

Project:  
3805 LAKESHORE ROAD DEVELOPMENT

Location:  
3805 LAKESHORE ROAD  
KELOWNA, B.C.

Drawn: AH	Stamp:
Checked: KM	
Approved: SH	
Scale: AS SHOWN	

Original Sheet Size:  
24"x36"

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Drawing Title: **DETAILS**  
 Drawing #: **LD-04**  
 VZD Project #: **DP2022-76**

<b>Luminaire characteristic:</b>	Power input: 4W to 12W Lumens: up to 430lm (for 3000K, 80CRI) Luminaire efficacy: Up to 35lm/W
<b>Source:</b>	WHITE LED module (LM-80 tested) 3000K : 80CRI, 4000K : 80CRI
<b>Lumen maintenance:</b>	70% of initial lumens at 50 000 hours (L70) (LM79 tested)
<b>Optic:</b>	Downward Asymmetric
<b>Material:</b>	Body: Die-cast Diffuser: Toughened glass Recessed housing: Polypropylene
<b>Mounting:</b>	Wall recessed cast in concrete. Supplied with a two part housing installation kit, anchor screws, bolts, locking system and adhesive template to ensure perfect alignment when installing. Connections to be done inside the back box.
<b>Electrical:</b>	See remote power supply options on page 6
<b>Finish:</b>	Concrete
<b>Weight:</b>	1.8 lbs (0.8 kg) to 3.97 lbs (1.8 kg).
<b>Warranty:</b>	5 year limited warranty
<b>Rating:</b>	IP65, IK06
<b>Certification:</b>	eULus listed for Wet location



**WALL LIGHT**  
 Product: GHOST Horizontal, 10W 280 lm  
 Manufacturer: iguzzini  
<https://www.iguzzini.com>  
 1 (604) 215-1539  
 Supplier: CD/M2 LIGHTWORKS  
 Contact: Meghan Boyd  
 Tel: 604 215 7721  
 meghan@cdm2lightworks.com

Note: lighting fixture selection to be coordinated with electrical.

**5** WALL LIGHT  
Scale NTS



Manufacturer: Dekko or approved equal  
 Model: Belmont  
 Colour: Natural

**6** FIRE PIT  
Scale NTS



**Bollard Light**  
 Model: 15602BZ-LED (Atlantis Square Large LED Bollard)  
 Finish: Bronze  
 Mount: as per Manufacturer's specifications  
 Manufacturer: Hinkley  
 Supplier: TerraDek Outdoor Lighting  
 Sales Representative: Gerry De La Vega  
 gerryd@terraдек.com

Or Approved Equal

**7** BOLLARD  
Scale NTS

**MCH-1700-00005** FORO SERIES  
 Legacy #FRST1700-BH-MSF-M1

**MATERIALS:** The stool frame is constructed from steel tube. The seat is laser formed steel. The back is made of a solid aluminum casting.

**FINISH:** All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

**INSTALLATION:** The stools come pre-assembled.

**TO SPECIFY:** Select MCH-1700-00005  
 Choose: Powdercoat Color

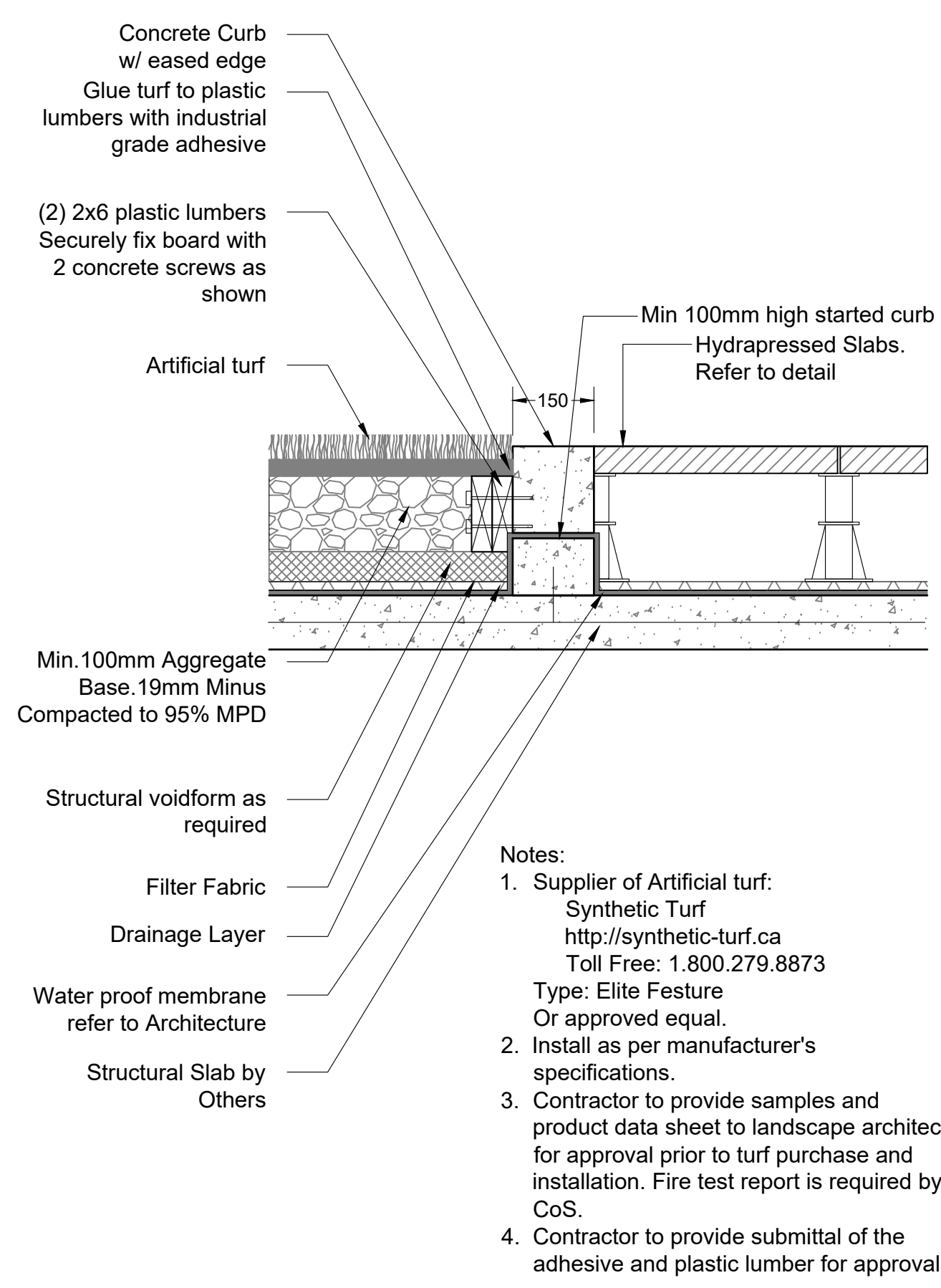
HEIGHT: 42.84" (109.1cm) WIDTH: 20" (50.7cm) DEPTH: 23.75" (60.3cm) WEIGHT: 22.82lbs (10.28kg)

**MAGLIN** Steel Furniture

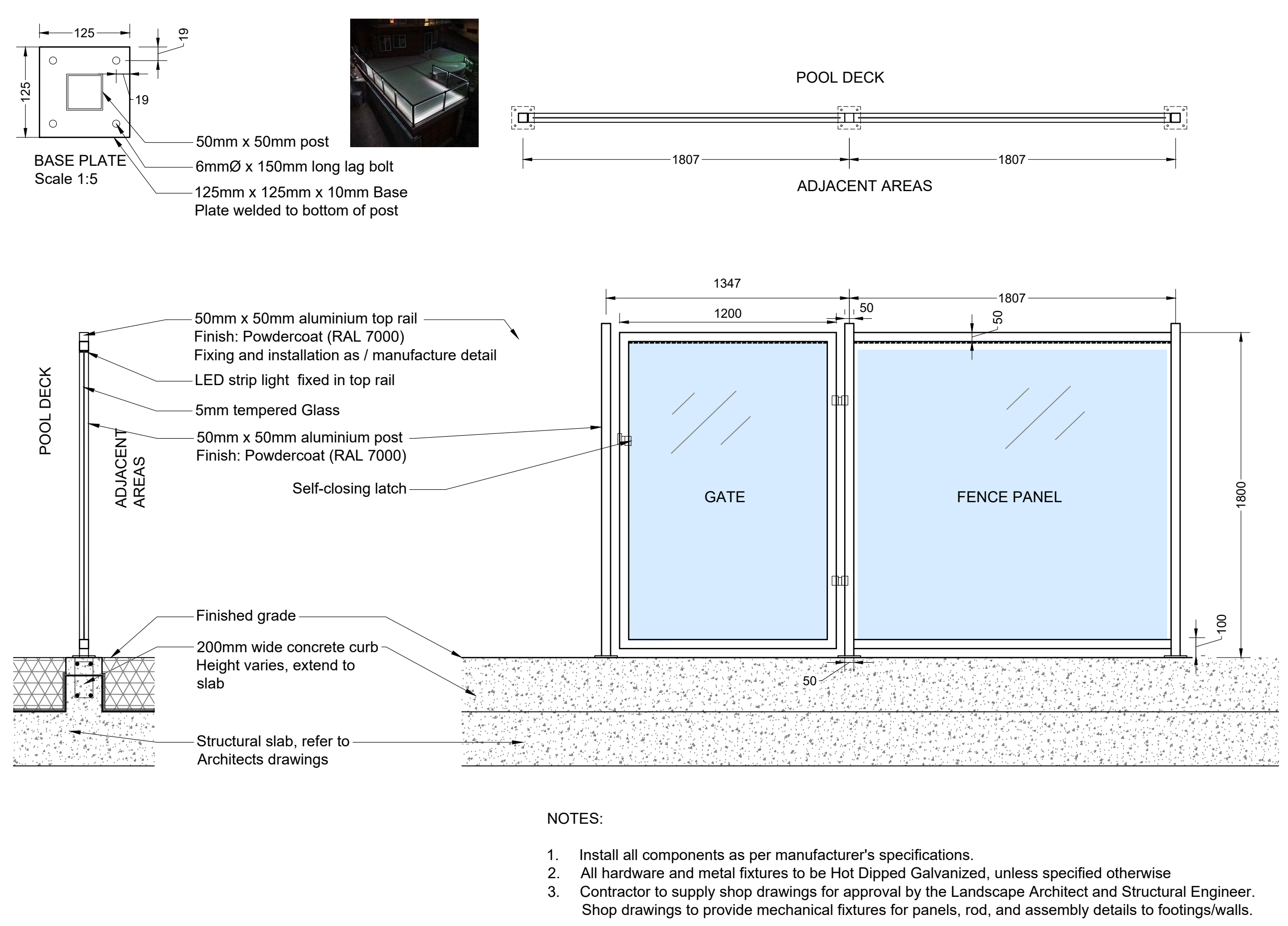
© 2022 FRS stool  
 4000 psi steel  
 www.maglin.com  
 info@maglin.com

**8** BAR HEIGHT STOOL CHAIR  
Scale NTS

Z:\PROJECTS\DEVELOPMENT PERMUTACTIVEDP2022-76 3805 LAKESHORE ROAD\LD-01 DETAILS.DWG



**1** ARTIFICIAL TURF ON SLAB  
 Scale NTS



**3** 1.8M GLASS FENCE  
 Scale 1:20



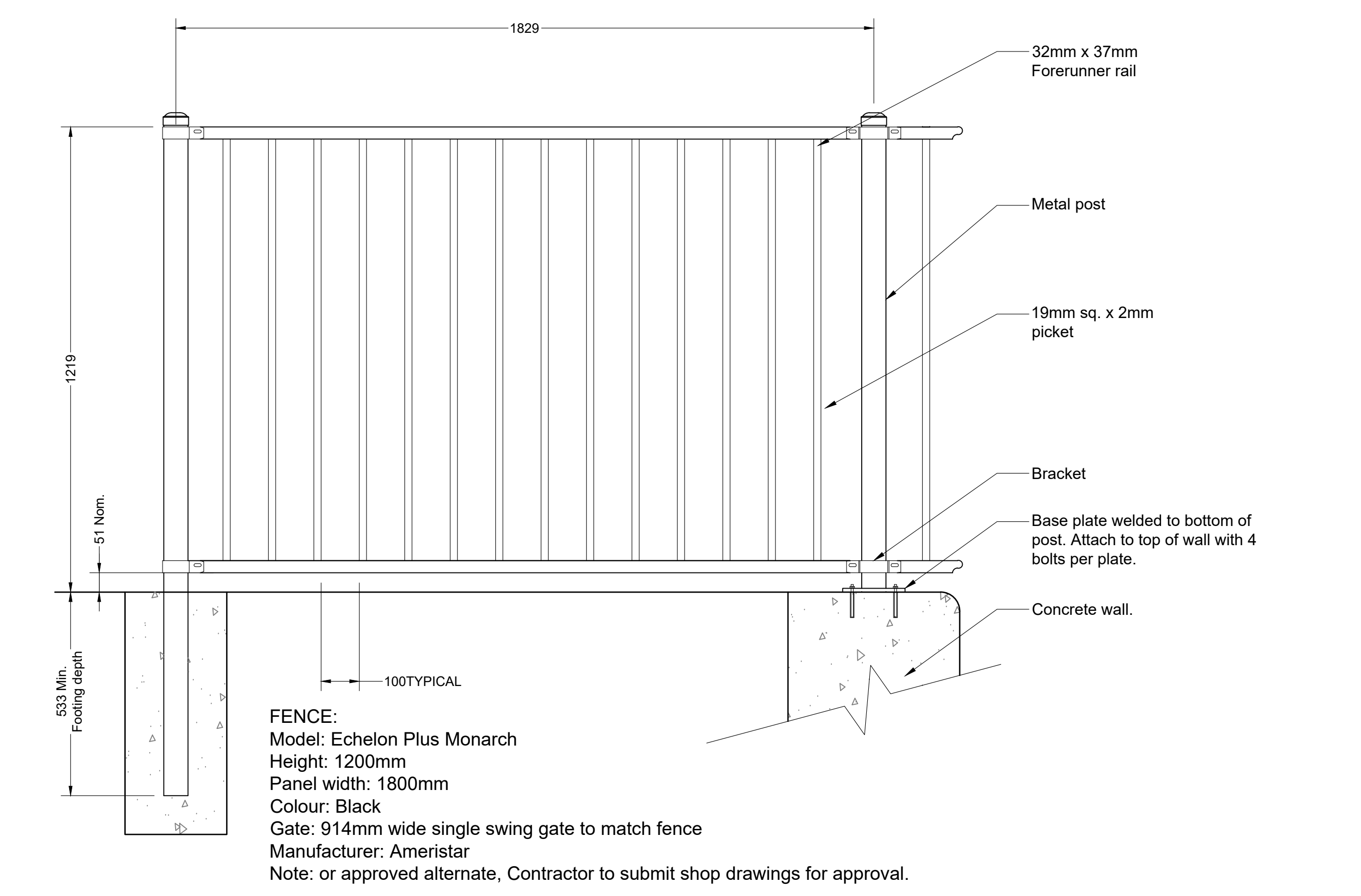
Lounge Chair  
 Product: Americana  
 Color: Leaf Green  
 Manufacturer: Landscapeforms  
[www.landscapeforms.com](http://www.landscapeforms.com)  
 or Approved Equal

**4** ADIRONDACK CHAIR  
 Scale NTS



POTTING TABLE  
 Model #: 8593268  
 Size: 45-1/2" W x 59" H x 23-3/4" deep overall  
 Material: Wood  
 Supplier: Gardeners Supply Company  
[www.gardeners.com](http://www.gardeners.com)

**6** POTTING TABLE  
 Scale NTS



**7** PICKET FENCE  
 Scale 1:10



Dining Table  
 Model: Morrison Table  
 Size: 80" x 40" x 31" (LxWxH)  
 Frame Colour: Silver (powdercoated aluminum)  
 Manufacturer: Landscape Forms Inc.  
 e. [comments@landscapeforms.com](mailto:comments@landscapeforms.com)  
 p. 800.521.2546  
 Or approved equal

**5** DINING TABLE AND CHAIRS  
 Scale NTS

No.	By:	Description	Date
5	KM	Issued for DP	2024-03-12
4	KM	Issued for DP	2023-11-01
3	KM	Issued for DP	2023-04-27
2	KM	Issued for DP	2023-03-15
1	AL	Issued for Arborist Report	2023-03-13

REVISIONS TABLE FOR DRAWINGS  
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:  
 3805 LAKESHORE ROAD  
 DEVELOPMENT

Location:  
 3805 LAKESHORE ROAD  
 KELOWNA, B.C.

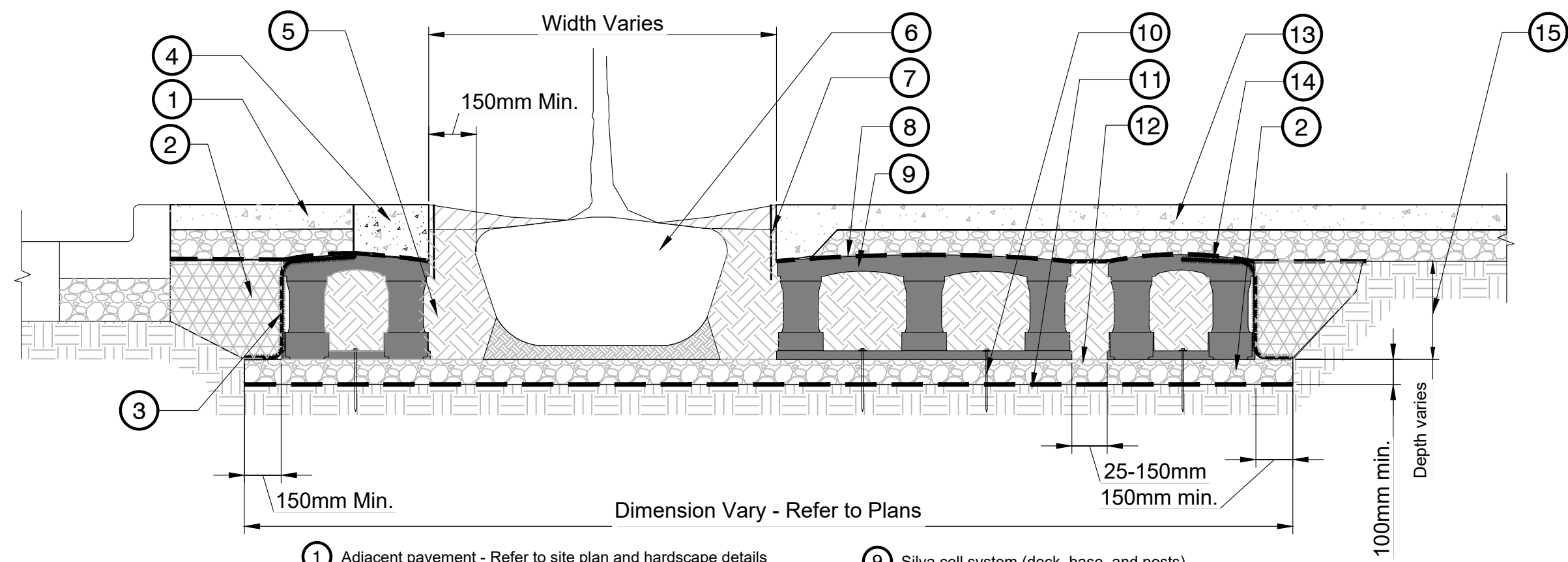
Drawn: AH	Stamp:
Checked: KM	
Approved: SH	
Scale: AS SHOWN	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Drawing Title:  
**DETAILS**

VDZ Project #:  
**DP2022-76**

Drawing #:  
**LD-05**



- 1 Adjacent pavement - Refer to site plan and hardscape details
- 2 100mm granular base (19mm minus) compacted to 95% MPD
- 3 Geogrid, wrapped around perimeter of system, with 150mm toe (outward from base) and 300mm excess (over top of deck)
- 4 Ribbon curb at tree opening (to be used with pavers or asphalt)
- 5 Planting soil below root ball. Compacted well to prevent settling.
- 6 Install tree as per Tree Planting - Deciduous Tree detail
- 7 Install approved root barrier system - 'Deeproot' model UB 18-2; 'Vespro' model RS-18; or 'NDS' model
- 8 Geotextile fabric to edge of excavation
- 9 Silva cell system (deck, base, and posts)
- 10 Anchoring spikes
- 11 Silva cell base slope 10% Max.
- 12 25 to 150 mm spacing between Silva Cell bases
- 13 Adjacent surface - Refer to plans
- 14 Cable tie, attaching geogrid to Silva Cell at base of upper leg flare, as needed.
- 15 Silva Cell depth based on model and number of stacked units. Refer to plans for layout and depth.

**1 SILVA CELL MSPS**  
Scale 1:20

**L49**  
EXTERIOR / INTERIOR  
StepLight | For walls, stairs, and walkways.  
• Wet, damp, and dry location  
• CE

**Ordering Information**  
Date: \_\_\_\_\_ Quantity: \_\_\_\_\_  
Project: \_\_\_\_\_ Note: \_\_\_\_\_  
Type: \_\_\_\_\_

**Specifications**  
Luminaire | Example Code: L49-6-WD304H-300-1-MA

Product	Version	LED x CR	Beam	Light Source (lm)	Image Color	Finish
L49	6.0	WES 1700K 60	6.000 12°	6.000lm	1 100% AC 100%	Aluminum Finish: Silver Frost
		WES 2700K 60	6.000 20°	15.000lm	2 100% AC 100%	Black, Silver Frost, White, White Power Coated, White Power Coated
		WES 3000K 60	6.000 30°	30.000lm	3 100% AC 100%	Black, Silver Frost, White, White Power Coated, White Power Coated
		WES 4000K 60	6.000 40°	40.000lm	4 100% AC 100%	Black, Silver Frost, White, White Power Coated, White Power Coated

**System Components (Ordered Separately)**  
Remote Driver: \_\_\_\_\_ \* Consult factory for the alternative option of using remote driver

**Important Notes**  
1. Refer to page 10 for details on Color Consistency details.  
2. Refer to page 10 for details on Beam Spread.  
3. Refer to Appendix B for lighting details for complete details of luminaires with different finish options.

**Warranty Notes & Disclaimer**  
Manufacturer and design to product that is incorporated into system or fixture will not be covered under warranty. Consult MP Lighting for recommended drivers. If the driver has an option to be used with a dimming system, consult driver manufacturer for dimming details before installing. MP Lighting reserves the right to make changes to any of its products. Consult MP Lighting website for most updated documentation.

MP Lighting | www.mplighting.com | info@mplighting.com | 604.708.1184 | L49 Specification Sheet (2022-10-17) | pg.1

**STEP LIGHT**  
Product: L49  
Manufacturer: MP Lighting  
<https://www.mplighting.com>  
1 (604) 708-1184

**2 STEP LIGHT**  
Scale NTS



**SL3 - Outdoor Diffusion LED Strip**

10 W/M (3W/FT) LED WATTS | 120/M (36/FT) LED/METER | IP67 | 91+ CRI | 24V DC POWER INPUT

**Description**  
The Diffusion SL3 Outdoor is a flexible 10 mm wide linear LED strip. It is available in 18 ft and 32 ft rolls that can be cut every 6 LEDs (50 mm or 2 in).  
Custom lengths available upon request.

**Specifications**

WATTAGE	10 W/M (3W/FT)	ENVIRONMENT	Sauna Approved
VOLTAGE	24 Volts DC	OPERATING TEMP	-40°C to 120°C
ROLL LENGTH	18 ft, 32 ft, Custom Cut	CUTTING POINT	2 in
DIMMABLE	Yes	IP RATING	IP67
LAMP LIFE	50,000 hrs LM-80	WARRANTY	5 Year Warranty
CRI	91+ CRI		

**Diagram**

**Ordering information**

ORDERING CODE	LENGTH	VOLTAGE	KELVIN
SL3-061	6m	24v	91
	12m		91
	18m		91
	32m		91

**Lumens**

2700K	3000K	3500K	4000K	5000K	5600K
718 lm/m (265 lm/ft)	718 lm/m (265 lm/ft)	810 lm/m (296 lm/ft)	810 lm/m (296 lm/ft)	916 lm/m (334 lm/ft)	916 lm/m (334 lm/ft)

**Diffusion Lighting** | info@diffusionlighting.com | 1(866) 444-6161 (Toll-Free)

**SEAT WALL LIGHT / Guardrail lighting**  
Product: Diffusion LED Strip  
Manufacturer: Diffusion Lighting  
<https://www.diffusionlighting.com>  
1 (866) 752 7677

Note: lighting fixture selection to be coordinated with electrical.

**3 SEAT WALL LIGHT / GUARDRAIL LIGHT**  
Scale NTS

**VDZ+A**  
LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY  
FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO  
100-9181 Church St | 102-355 Kingsway  
Fort Langley, BC | Vancouver, BC  
V1M 2R6 | VST 317  
www.vdz.ca | 604-882-0024

No.	By:	Description	Date
5	KM	Issued for DP	2024-03-12
4	KM	Issued for DP	2023-11-01
3	KM	Issued for DP	2023-04-27
2	KM	Issued for DP	2023-03-15
1	AL	Issued for Arborist Report	2023-03-13

**REVISIONS TABLE FOR DRAWINGS**

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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

**Project:**  
3805 LAKESHORE ROAD DEVELOPMENT

**Location:**  
3805 LAKESHORE ROAD  
KELOWNA, B.C.

Drawn: AH LA	Stamp:
Checked: PC	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES/APPROPRIATE DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED/ISSUED FOR TENDER/CONSTRUCTION.

Drawing Title: **DETAILS**  
VDZ Project #: **DP2022-76**  
Drawing #: **LD-06**

**RINCON** PEDESTRIAN

Rincon Pedestrian Lighting blends a minimalist form, stainless steel construction, and the unparalleled performance of Cree® LEDs. Precision manufacturing gives shape to the 4.5" square profile and creates a virtually seamless appearance. Optional perforated shades add to the fixture's versatility. Coordinating Rincon Bollards and Rincon Pathway Bollards make it easy to carry the Rincon aesthetic across a project.

**MATERIAL & CONSTRUCTION DETAILS**

MATERIALS & FINISHES	LED LIGHT ENGINE & COVER	INSTALLATION & MAINTENANCE
• Head consists of a 2.2" (4 mm) thick white-finished acrylic lens and a cast stainless steel cap. • Body is constructed from 316 L stainless steel, with both finish and Ceramic treatment. See below for details. • For optional perforated cover, see the Rincon-Perforated Cover. Custom RGB colors are available for the uplight. • Stainless steel base with a satin finish or a clear powdercoat finish. • Shields are stainless steel with a satin finish and measure 35.75" (909 mm) high x 4.12" (105 mm) wide. <b>SHIELD OPTIONS</b> • Optional perforated shields can be specified for 1-4 sides of the fixture. Four standard shield designs are available for an uplight. Please refer to pages 2 and 3 for details. • Custom shield designs are also available.	• Custom LED light engine with Cree® LEDs. • Features advanced LED technology with 300,000 warm-white and 4000K neutral white LEDs. • LED driver includes high efficiency, constant output current, with over-voltage, short circuit, and overload protection. • LED driver input power is 50-265 V. • LED head is 100 dimming compatible. • LED driver certifications include: FCC, UL, CE, RoHS, and CEM2 2 (RfE) (UL508).	• 20" (508 mm) thick stainless steel base plate with stainless steel enclosure cover. 12" (305 mm) total height. • Installation of a surge protector as part of each wiring to be recommended. • Stainless steel requires no maintenance. Tempered stainless steel is resistant. • Metal surfaces can be cleaned as needed using a soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners.

**CERAMIC TREATMENT**  
Ceramic is an invisible surface treatment that offers significantly enhanced protection from weather and graffiti and increases the maintenance ease of stainless steel. Ceramic combines ceramic durability with an unparalleled ability to lock out water spots, fingerprints, graffiti and more. Patented technology bonds nano-silica particles to the surface of the stainless steel. The treatment minimally alters the surface appearance of the stainless and offers numerous benefits:

- Easy Cleaned: The Ceramic treatment creates a surface that simultaneously resists fingerprints and is easy to clean. Water spots, grease marks and more can be quickly wiped away. It also creates an "anti-graffiti" surface - even permanent marker is easily removed with a clean microfibre towel and water.
- Durable: Ceramic-treated materials are abrasion- and scratch-resistant. The treatment is permanent, UV stable, and will not degrade or discolor over time.
- Environmentally Sound: The Ceramic treatment is a non-HCl, water-based process. Because Ceramic surfaces are so easily maintained, cleaning solutions and maintenance are kept to a minimum.

**LIGHT ENGINE DESCRIPTION**

LED ENGINE	DESCRIPTION	COLOR TEMPERATURE	LUMINAIRE LUMENS*	B.I.C. RATING	STARTING TEMPERATURE °C
3000K LED	30W custom LED light engine	3000K	2175	91-104-02	-30
4000K LED	30W custom LED light engine	4000K	2175	91-104-02	-30

\*LED lumens represent the absolute luminosity by the luminaires, and indicate the lumens out of the entire fixture.  
NOTE: Pole canopy and retrofitable poles can be found on the Rincon Pedestrian product page on our website.

T 800.451.0410 | www.forms-surfaces.com | **FORMS+SURFACES**

**PEDESTRIAN HEIGHT LIGHT**  
Product: Rincon Pedestrian Lighting  
Manufacturer: Forms + Surfaces  
<https://www.forms-surfaces.com>  
1 (800) 450 0410

**4 PEDESTRIAN HEIGHT LIGHT**  
Scale NTS

**LUMINIS** SY610 SERIES SYRIOS 6" SURFACE CEILING DOWN LIGHT

TYPE: \_\_\_\_\_ QUANTITY: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
CATALOG NUMBER: \_\_\_\_\_ FIXTURE SUFFIX REFLECTOR VOLTAGE FINISH OPTION OPTION OPTION

**INSTALLATION**

- Cast aluminum ventilated top cover with ceiling mounting plate.
- Seamless extruded aluminum cylindrical housing.
- Fully sealed cast aluminum down light assembly.
- Sealed cast aluminum lens frame.
- Clear tempered glass lens.
- Faceted stainless aluminum reflector.
- Optional 360° adjustable rotation.

All stainless steel hardware.

Syrios light module is designed with a tilting mechanism allowing forward and back light adjustability. The 30° directional module allows to aim the light beam in the desired direction, without disturbing the luminaire mounting. The module can be secured using the built-in locking mechanism. Fully adjustable 360° rotation also available. See option AS30.

**MATERIALS**  
Syrios is made of corrosion resistant 306 aluminum alloy with a copper (CU) content of less than 0.16%. The main housing is made of seamless extruded aluminum, with an integrally sealed LED light module designed for optimal heat dissipation, and lighting performance. Syrios is standard with a unique proprietary design allowing the sealed LED module to sit within the cylindrical housing. The top cast aluminum cover includes ventilation slots allowing air circulation and cooling of assembly. Syrios SY610 series is standard with 30° optic. See option sections for alternate selection.

**ELECTRICAL DRIVER**  
Standard driver is 0-10V dimming-ready (dims to 10%) with: 100-277 multi-volt compatibility (50-60Hz), operating temperature range of -40°C (-40°F) to 150°C (315°F), output over-voltage protection, output over-current protection and output short-circuit protection with auto-recovery. Standard 4000K, 90CRI. Optional 2700K, 3000K & 3500K. Optional Amber LED for tactile sensitive areas. Wavelength: 384 nm to 507 nm.

**LIFE**  
60,000hrs L<sub>70</sub> (based on IESNA TM-21 Test Method and LM-80 data). Up to 70,000hrs L<sub>70</sub> (calculated projection from LM-80 data).

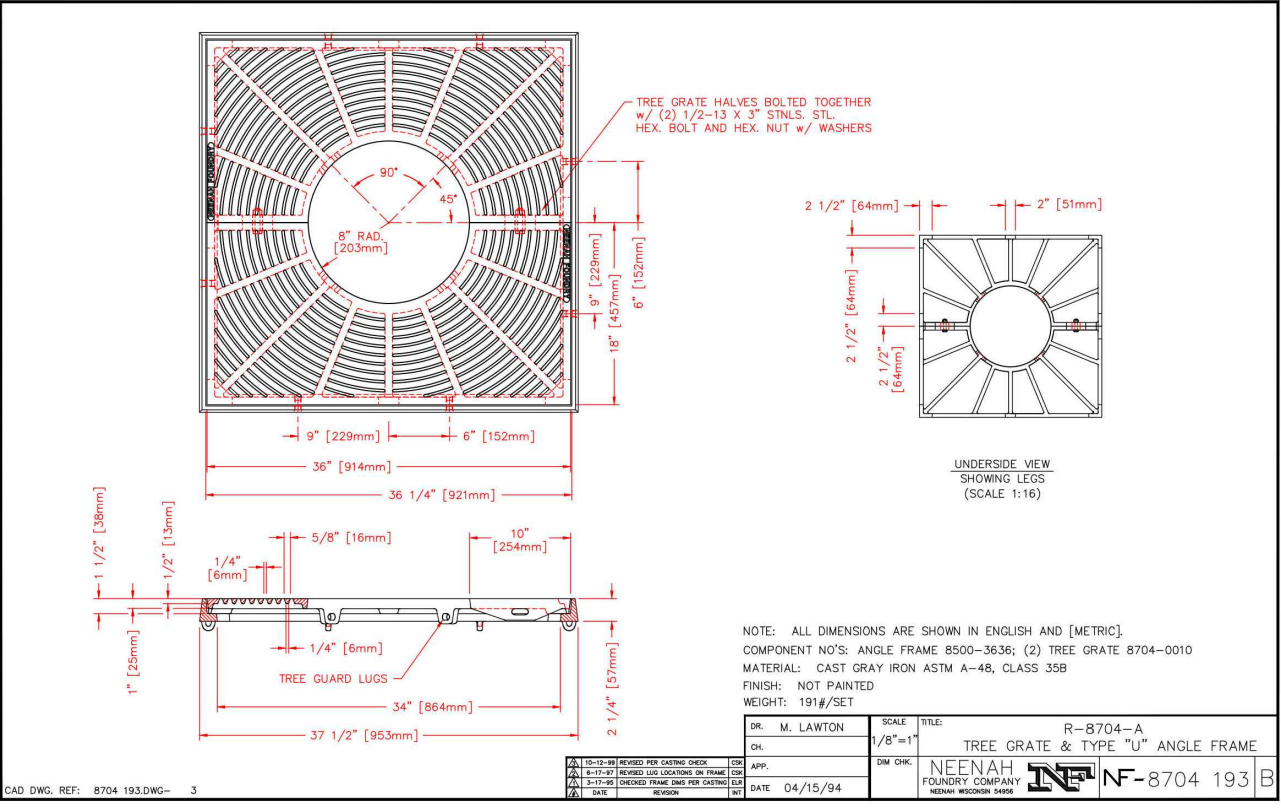
**FINISH**  
Five-stage preparation process including pre-treating of cast aluminum parts for an extraction, and an environmentally friendly alloy system. Polyester powder coating is applied through an electrostatic process and oven cured for long-term finish.

**LUMINIS.COM**

**CATENARY LIGHT**  
Product: 6" Surface Ceiling Down Light  
Manufacturer: Luminis  
<https://www.luminis.com/>  
514 683-3883

Note: lighting fixture selection to be coordinated with electrical.

**5 CATENARY LIGHT**  
Scale NTS



**TREE GRATE**  
Model: R-8704-A  
Manufacturer: Neenah Foundry  
Install as per manufacturer specifications

**6 TREE GRATE**  
Scale NTS

Z:\PROJECTS\DEVELOPMENT PERMITS\ACTIVATED\2022-26 3805 LAKESHORE ROAD\5. DWG\SHEET\SLD-01 DETAILS.DWG

12 March 2024

**Attn: Lara Reid**

Jim Pattison Developments  
 200 – 879 Marine Drive  
 North Vancouver, BC V7P 1R7

**RE: 3805 Lakeshore Road – Zoning Summary Spreadsheet: Landscape Requirements**

The following table summarizes the proposed landscape buffer improvements for the site.

<b>Landscaping Standards</b>	<b>Zone</b>	<b>Proposed</b>
	<b>VC1</b>	<b>VC1</b>
<i>Min. Number of Trees within Landscape Areas</i>	Total: 13	Total: 13
<i>Minimum Growing Medium Area</i>	75% soil based landscaping & no minimum is soil cells are installed	75% on residential frontage and no minimum on commercial frontage as soil cells are utilized.
<i>Minimum Landscaping for surface parking lot over 15 vehicles.</i>	Not applicable as all parking is located within the parkade.	
<i>Maximum / Minimum Tree Spacing</i>	Minimum tree spacing is based on site requirements for sightlines or accessibility along with standard planting practices for the tree species. Trees may be planted closer together as needed and additional trees are highly encouraged. Spacing is not dictated by requirements for the number of trees required in the Landscape Area.	
<i>Minimum Setback from buildings, raised patios, and balconies to on-site trees</i>	Large 3m radius* Medium 2m radius* Small 1m radius*	Large 3m radius* Medium 2m radius* Small 1m radius*
	* Up to second storey of the building. Any underground parkade or structure to be setback 1m measured from centre of tree at finished grade	* Up to second storey of the building. No underground structures (i.e. parkade) present.
<i>Min. Deciduous Tree Planting Stock Caliper</i>	Large 5cm Medium 4cm Small 3cm	Large 5cm Medium 4cm Small 3cm
<i>Min. Coniferous Tree Planting Stock Height</i>	250 cm	250 cm

<i>Min. Ratio between Tree size</i>	Large	50% min.	Large	0% <sup>1</sup>
	Medium	No min. or max	Medium	38%
	Small	25% max.	Small	62% <sup>1</sup>
	Large	30 m <sup>3</sup> if single 20 m <sup>3</sup> if pair	Large	N/A
<i>Min. Growing Medium Volumes per Tree</i>	Medium	15 m <sup>3</sup> if shared	Medium <sup>2</sup>	15 m <sup>3</sup> - pair
		20 m <sup>3</sup> if single 15 m <sup>3</sup> if pair		12 m <sup>3</sup> - shared
	Small	12 m <sup>3</sup> if shared	Small <sup>2</sup>	15 m <sup>3</sup> - single
		15 m <sup>3</sup> if single 12 m <sup>3</sup> if paired 10 m <sup>3</sup> if shared		12 m <sup>3</sup> - pair 10 m <sup>3</sup> - shared
<i>Notes:</i>	<p><sup>1</sup>Variance to minimum ratio between tree sizes due to 2m setback from building to property line and overhead balconies not allowing for the minimum setbacks for large trees. Therefore, large trees have been excluded from landscape areas. However, four large trees have been placed elsewhere on-site.</p> <p><sup>2</sup>Soil cells have been proposed to connect landscape areas to create shared growing medium volumes, where possible.</p>			

Please let me know if you have any questions or need for clarification.

Sincerely,

Kim McNamee | MBCLSA, CSLA, BLA  
Landscape Architect  
VDZ+A Consulting inc.

KM

March 12, 2024



## COST ESTIMATE FOR BONDING

Date Issued: 12/03/2024

<b>Attention:</b>	Lara Reid	<b>VDZ File Number:</b>	DP2022-76
<b>Firm Name:</b>	Jim Pattison Developments	<b>DP Application Number:</b>	
<b>Address/Fax:</b>	200-879 Marine Drive	<b>Project Name:</b>	3805 Lakeshore Rd
	North Vancouver, BC	<b>Prepared by:</b>	KM
	V7P 1R7	<b>Checked by:</b>	SH

---

### Re: Cost Estimate for Bonding

Dear Lara,

Please find attached a cost estimate for bonding for the development permit application 3805 Lakeshore Road Development. Key Components of this estimate include:

HARDSCAPE	\$177,325.00
SOFTSCAPE	\$54,175.50
IRRIGATION	\$13,200.00
WALLS AND FENCES	\$107,195.00
LIGHTING	\$10,000.00
FURNISHINGS	\$76,400.00
<b>OVERALL TOTAL:</b>	<b>\$428,295.50</b>

This estimate is for bonding only. This estimate has been prepared for Landscape works only, and does not include civil works, architectural elements, large-scale earthworks and fill, electrical or mechanical works etc. The cost estimate is not to be used for construction cost budgeting purposes or any other use other than for bonding at the development permit stage.

---

Signature:	15/03/2023	Date:	Seal:
------------	------------	-------	-------

<b>FORT LANGLEY STUDIO</b> 101-9181 Church Street Fort Langley, BC V1M 1A0	<b>MOUNT PLEASANT</b> 102 - 355 Kingsway Vancouver, BC V5T 3J7
---	---

**Project Name:** 3805 Lakeshore Rd  
**VDZ File Number:** DP2022-76

**Detailed Cost Breakdown**

Category	Description	Quantity	Unit	Unit Cost	Price
<b>HARDSCAPE</b>					
Concrete Paving	Installed to MMCD Standards	100	m2	\$95.00	\$9,500.00
Patio Paving	Slab Pavers	346	m2	\$150.00	\$51,900.00
Amenity Area Paving	Hydrapressed Pavers	179	m2	\$200.00	\$35,800.00
Amenity Area Walkway	Concrete	277	m2	\$95.00	\$26,315.00
Decking	Composite Decking	135	m2	\$145.00	\$19,575.00
Concrete Unit Pavers	At grade	147	m2	\$105.00	\$15,435.00
Artificial Turf		94	m2	\$125.00	\$11,750.00
Granular	Decorative Rock	102	m2	\$30.00	\$3,060.00
Granular	Drip Strips	13	m2	\$30.00	\$390.00
Concrete Stairs	2 or 3 step sets for entrances.	6	Each	\$600.00	\$3,600.00
<b>Subtotal</b>					<b>\$177,325.00</b>
<b>SOFTSCAPE</b>					
Soil	Imported (Depth at 450mm for shrubs, 150mm for turf + 1m for trees)	211	cubic meters	\$30.00	\$6,330.00
	Landscape Area Trees (10-20 cu.m, varies per bylaw)	97	cubic meters	\$30.00	\$2,910.00
Soil Cells	Landscape Area Trees (10-20 cu.m, varies per bylaw)	70.5	cubic meters	\$100.00	\$7,050.00
Mulching	50mm Depth	17	cubic meters	\$22.00	\$374.00
Sod	As per specification	195	m2	\$3.50	\$682.50
Deciduous Trees	Installed to BCLNA Standards	28	Each	\$485.00	\$13,580.00
Coniferous Trees	Installed to BCLNA Standards	6	Each	\$485.00	\$2,910.00
Tree Stakes	Installed to BCLNA Standards	68	Each	\$8.00	\$544.00
Shrubs/groundcovers/grasses	General Price	700	Each	\$11.00	\$7,700.00
Installation	materials				\$12,095.00
<b>Subtotal</b>					<b>\$54,175.50</b>
<b>IRRIGATION</b>					
Irrigation	Including all wires, valves, piping	1	LS	\$12,000.00	\$12,000.00
	Connection to source	1	LS	\$1,200.00	\$1,200.00
<b>Subtotal</b>					<b>\$13,200.00</b>
<b>WALLS AND FENCES</b>					
Patio Fence	1.2m Picket Fence	11	Lm	\$145.00	\$1,595.00
Patio Gate	1.2m Picket Gate	7	Each	\$750.00	\$5,250.00
Pool Fence	1.8m Glass Fence	58	Lm	\$200.00	\$11,600.00
Pool Gate	1.8m Glass Gate	3	Each	\$1,000.00	\$3,000.00
Concrete Wall	Concrete Raised Planters	343	Lm	\$250.00	\$85,750.00
<b>Subtotal</b>					<b>\$107,195.00</b>
<b>LIGHTING</b>					
Lighting(total)		1	LS	\$10,000.00	\$10,000.00
<b>Subtotal</b>					<b>\$10,000.00</b>
<b>FURNISHINGS</b>					
Seating +Tables	Pool Deck Chair	8	Each	\$600.00	\$4,800.00
	Lounge Seating Set w/ Fire Pit	2	Each	\$4,500.00	\$9,000.00
	Lounge Seating Couch Set w/ Coffee Table	2	Each	\$4,000.00	\$8,000.00
	Lounge Seating Set w/ Coffee Table	2	Each	\$2,000.00	\$4,000.00
	Table and Chairs	8	Set	\$750.00	\$6,000.00
	Bar Stools and Table	1	LS	\$2,000.00	\$2,000.00
	Feature customized seating	1	LS	\$10,000.00	\$10,000.00
Stepping Stones		10	Each	\$100.00	\$1,000.00
Garbage Receptacle		1	Each	\$900.00	\$900.00
Movable Planter		9	Each	\$500.00	\$4,500.00
Seat Wall		1	LS	\$2,000.00	\$2,000.00
Outdoor Kitchen	BBQ + Table	1	Each	\$2,500.00	\$2,500.00
Community Garden	Raised planters, Potting Table & Bench, Compost Bin	1	LS	\$9,000.00	\$9,000.00
Cabana		2	Each	\$5,000.00	\$10,000.00
Bike Racks	Premium Bike Racks	3	Each	\$900.00	\$2,700.00
<b>Subtotal</b>					<b>\$76,400.00</b>
<b>Overall Total:</b>					<b>\$428,295.50</b>



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# Landscape Water Conservation Report

## APPLICANT INFORMATION

Owner	Jim Pattison Developments			Contractor co. name	VDZ+A
Project address	3805 Lakeshore Road			Contractor contact name	Kim McNamee
City	Kelowna			Contractor phone #	778.298.9738
Owner phone #	604 488 5280			Contractor email	<a href="mailto:Kim@vdz.ca">Kim@vdz.ca</a>
Owner email	<a href="mailto:CRAMP@JP-DEVELOPMENTS.COM">CRAMP@JP-DEVELOPMENTS.COM</a>				
Province	BC	Postal Code:	V7P 1R7	Preferred contact Owner	<input type="checkbox"/> Contractor <input type="checkbox"/>

**NOTE: ALL 3 PAGES OF THE APPLICATION MUST BE COMPLETED AND SUBMITTED**

## LANDSCAPE AND IRRIGATION CHECKLIST

The Applicant in submitting this application, has adhered to:

- Applicable electrical standards and codes
- Applicable plumbing standards and codes
- Applicable backflow prevention standards and codes

The Applicant in submitting this application, has adhered to the irrigation and landscape requirements required for the classification of project as follows:

- Residential property: Bylaw 7900 Schedule 4, Bylaw 10480 Part 4
- Non-residential property: Bylaw 7900 Schedule 4 and Schedule 5, Bylaw 10480 Part 4

Note that checklists for selecting an irrigation contractor are available through the IIABC or the IA. Below is the link to the IIABC checklist.

<https://www.irrigationbc.com/page/selecting-a-contractor>

Where an exemption is required (e.g. golf course or large school field), contact the Water Smart program directly.

Applicant notes pertaining to the application:

# Landscape Water Conservation Report

## LANDSCAPE WATER USE AREA

Applicant: **Jim Pattison Developments** Address: **3805 Lakeshore Road, Kelowna, BC**

### Step 1: Measure Total Landscape Area (LA)

Area of site that will absorb water:

**843** sq.m.

Note: Include boulevard, and proposed lawn, plants, mulch, pervious decks or paving stones. Do not include areas that are not pervious such as buildings, paved driveways, concrete patios etc.

Step 2: Divide Into Landscape Treatments*		Plant Factor	Irrig Efficiency	Hydrozone Area	% of Total LA	Estimated Water Use (cu.m.)
Note: each of the areas below are a 'HYDROZONE'		(PF)	(IE)	(HA)		(WU)
<b>Unwatered Pervious Areas (not impervious paving)</b>						
Mulch (Stone, bark or sand)		N/A	N/A	129.1	15%	N/A
Pervious deck (Spaced wood deck)		N/A	N/A		0%	N/A
Pervious paving (ie: AquaPave, Rima Pave)		N/A	N/A		0%	N/A
Naturalized meadow (wildflowers)		N/A	N/A		0%	N/A
Naturalized area (Existing natural area)		N/A	N/A		0%	N/A
Other:		N/A	N/A		0%	N/A
Swimming or ornamental pool		1	1	81.5	10%	65
<b>Watered Planting Beds (shrubs or groundcover)</b>						
<i>Planting Type</i>	<i>Irrig Efficiency</i>					
Low water use plants	High (Drip or Bubbler)	0.3	0.9	76.2	9%	20
Low water use plants	Moderate (Spray or Rotor)	0.3	0.7		0%	0
Moderate water use plants	High (Drip or Bubbler)	0.5	0.9	330.7	39%	147
Moderate water use plants	Moderate (Spray or Rotor)	0.5	0.7		0%	0
High water use plants	High (Drip or Bubbler)	0.7	0.9	30.3	4%	19
High water use plants	Moderate (Spray or Rotor)	0.7	0.7		0%	0
<b>Watered Mown Lawn Areas</b>						
Low		1	0.7	195.2	23%	223
<b>Special Landscape Areas (SLA)</b>						
Vegetable Garden	High (Drip or Bubbler)	1	0.9		0%	0
Vegetable Garden	Moderate (Spray or Rotor)	1	0.7		0%	0
Sports Lawn (Commercial / Parks)	Moderate (Spray or Rotor)	1	0.7		0%	0
Rainwater or Recycled Water Use		0.3	1		0%	0
<b>Totals</b>				<b>843</b>	<b>100%</b>	<b>474</b>
Special Landscape Area (SLA) Sub total				0		

\*If proposed design conditions are not shown on the form please contact Water Smart 250-460-0678



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# Landscape Water Conservation Report

Applicant: **Jim Pattison Developments** Address: **3805 Lakeshore Road, Kelowna, BC**

## CALCULATE & COMPARE WATER BUDGET TO ESTIMATED WATER USE

Total Landscape Area	843	sq.m.
Landscape Water Budget (WB)	674	cu.m./yr.
Estimated Landscape Water Use (WU)	474	cu.m./yr.
<b>Under (-OVER) Budget (Must be under Water Budget WB)</b>	<b>200</b>	<b>cu.m./yr.</b>
	<b>OK</b>	

I confirm by completing the attached Landscape Water Conservation Report, that the project will conform to industry best practices for landscape and irrigation installation in Kelowna. I also acknowledge that the landscape treatments of the project will conform to the Hydrozone areas as identified in the Landscape Area Water Use Area table.

\_\_\_\_\_  
Name of Applicant (person submitting the form) Date: \_\_\_\_\_

### FOR CITY OF KELOWNA OFFICE USE ONLY

The calculations above satisfy the requirements of the Water Regulation Bylaw 10480 Section 4.4.2 and 4.4.3. and the application is hereby APPROVED with the signature of the Water Manager or designate.

\_\_\_\_\_  
Name of Kelowna Water Smart designate Date: \_\_\_\_\_  
For Water Manager